



SMYTH ENGINEERING
EST 2014

BRYN MAWR STRUCTURAL INTEGRITY RESERVE STUDY

REPORT #2023.1003

- ☒ Phase 1
☐ Phase 2



Bryn Mawr Ocean Towers
5055, 5061, 5059 N A1A, Hutchinson Island South, FL 34949
Beginning Date: January 1st, 2025

Engineer of Record (E.O.R.): **Christopher M. Smyth**
Professional Engineer **License # 86362**

Qualifications per the Community Associations Institute (C.A.I.) reserve study standards: A professional with construction, engineering, and subject matter expertise.

Levels of Service

The following four (4) categories describe the various types of reserve studies, from exhaustive to minimal. Please select which type was conducted for this Report:

- ☒ **Full:** A reserve study in which the following five reserve study tasks are performed:
- Component Inventory (including quantification)
 - Condition assessment (based on on-site visual observations)
 - Life and valuation estimates
 - Fund status
 - Funding plan
- ☐ **Update, With Site Visit/On-Site Review:** A reserve study update in which the following five reserve study tasks are performed:
- Component inventory (verification only, not quantification)
 - Condition assessment (based on on-site visual observations)
 - Life and valuation estimates
 - Fund status
 - Funding plan
- ☐ **Update, No Site Visit/Off-Site Review:** A reserve study update with no on-site visual observations in which the following three reserve study tasks are performed:
- Life and valuation estimates
 - Fund status
 - Funding plan
- ☐ **Preliminary, Community Not Yet Constructed:** A reserve study prepared before construction that is generally used for budget estimates. It is based on design documents such as the architectural and engineering plans. The following three tasks are performed to prepare this type of study:
- Component inventory
 - Life and valuation estimates
 - Funding plan

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What is a Reserve Study?

A reserve study is a detailed analysis and assessment of the physical components and assets of a property or community, typically conducted by licensed professional architects or engineers. Reserve studies are commonly used for planned developments, homeowner associations, condominiums, or commercial properties. The primary purpose of a reserve study is to determine the current condition and anticipated future repairs or replacement costs for the common areas and major components of a property. Per new requirements as detailed in SB154, there are primary components such as roofs and windows that must be addressed and be fully funded, as well as non S.I.R.S. components such as elevators and mechanical systems, which need to be inspected and have a repair/replace cost; however, the non-S.I.R.S. items do not need to be fully funded. The primary reserve components are the items that affect life safety of the residents and the weather protection of the exterior building envelope.

The study involves conducting a thorough inspection of the property, evaluating the remaining useful life of various components, estimating their replacement costs, and projecting the necessary funding requirements over a specific period. This analysis helps property owners and managers develop a comprehensive reserve plan, ensuring that sufficient funds are allocated and collected over time to address future maintenance, repair, and replacement needs. The reserve study serves as a valuable financial planning tool, enabling property owners to make informed decisions about budgeting, funding, and prioritizing maintenance, and capital improvement projects. It helps prevent unexpected financial burdens, ensures the longevity of the property, and protects the value of the investment for property owners and residents.

What is Included in this Report? *

1. **Methodology:** This report explains the approach and methodology used to conduct the study, including the inspection process, data collection methods, and the guidelines or standards followed (such as the **National Reserve Study Standards (NRSS)** and the **Community Associations Institute (CAI)**).
2. **Condition Assessment:** The condition of each component is assessed based on its age, observed deterioration, and expected remaining useful life. This evaluation helps determine when repairs or replacements are likely to be needed and whether the state of the components are unsafe or dangerous.
3. **Replacement Cost Estimates:** This report provides estimated costs for the repair or replacement of each component within a specified timeframe. These costs are based on current market prices and may account for inflation or other factors.
4. **Funding Analysis:** This report examines the financial aspects of the reserve study. It includes an analysis of the current reserve fund balance, projected future reserve expenses, funding requirements, and recommended funding strategies to ensure the availability of adequate funds for future repairs and replacements.
5. **Reserve Funding Plan:** This report offers a recommended funding plan, which outlines the annual contributions needed to meet the projected reserve expenses. It may include options for funding methods, such as regular assessments, loans, or special assessments. The funding plan will establish a 100% reserve requirement.
6. **Disclosure and Disclaimers:** This report may include disclosures and disclaimers regarding the limitations of the study, the assumptions made, and any other important information regarding the accuracy and reliability of the report.

^{1*}Pursuant to Fla. Stat. § 553.899(8)(a)-(f) of the report requirements.

7. Recommendations: Finally, the report concludes with recommendations for the property owner or management regarding the allocation of funds, prioritization of projects, and any additional measures to maintain the property's condition and value, including but not limited to remedial or preventative repairs for any items damaged but not substantial structural deterioration.
8. Reserve study complies with SB154 that was approved by Governor DeSantis and passed in June 2023 as part of Chapter No. 2023-203 and CS/CS/CS/HB 799 (Ch 2023-175). S.I.R.S. components will be addressed as well as other/non-S.I.R.S. components.

Terms and Definitions

The following terms and definitions are provided to better assist you in navigating this Report, and many of the terms and definitions are directly from the National Reserve Study Standards (NRSS):

1. **BRITISH THERMAL UNIT (BTU):** a standard unit of energy.
2. **CAPITAL IMPROVEMENTS:** Additions to the association's common elements that previously did not exist. While these components should be added to the reserve study for future replacement, the cost of construction should not be taken from the reserve fund.
3. **CASH FLOW METHOD:** A method of developing a reserve funding plan where contributions to the reserve fund are designed to offset the variable annual expenditures from the reserve fund. Different reserve funding plans are tested against the anticipated schedule of reserve expenses until the desired funding goal is achieved.
4. **COMPONENT:** The individual line items in the reserve study developed or updated in the physical analysis. These elements form the building blocks for the reserve study. These components comprise the common elements of the community and typically are: 1. association responsibility, 2. with limited useful life expectancies, 3. predictable remaining useful life expectancies, and 4. above a minimum threshold cost. It should be noted that in certain jurisdictions there may be statutory requirements for including components or groups of components in the reserve study.
5. **COMPONENT INVENTORY:** The task of selecting and quantifying reserve components. This task can be accomplished through on-site visual observations, review of association design and organizational documents, review of association precedents, and discussion with appropriate representative(s) of the association.
6. **COMPONENT METHOD:** A method of developing a reserve funding plan where the total contribution is based on the sum of contributions for the individual components.
7. **CONDITION ASSESSMENT:** The task of evaluating the current condition of the component based on observed or reported characteristics.
8. **DIAMETER** is abbreviated as **DIA**.
9. **EFFECTIVE AGE:** The difference between useful life and remaining useful life. Not always equivalent to chronological age, since some components age irregularly. Used primarily in computations.
10. **EXECUTIVE SUMMARY:** Summary of Reserve Components.
11. **FINANCIAL ANALYSIS:** The portion of a reserve study where the current status of the reserves (measured as cash or percent funded) and a recommended reserve contribution rate (funding plan) are derived, and the projected reserve income and expense over a period of time are presented. The financial analysis is one of the two parts of a reserve study.

12. **FULLY FUNDED:** 100 percent funded. When the actual (or projected) reserve balance is equal to the fully funded balance.
13. **FULLY FUNDED BALANCE (FFB):** An indicator against which the actual (or projected) reserve balance can be compared. The reserve balance that is in direct proportion to the fraction of life “used up” of the current repair or replacement cost. This number is calculated for each component, and then summed for an association total.
- FFB = Current Cost X Effective Age/Useful Life
- Example: For a component with a \$10,000 current replacement cost, a 10-year useful life and effective age of 4 years the fully funded balance would be \$4,000.
14. **FUND STATUS:** The status of the reserve fund reported in terms of cash or percent funded.
15. **FUNDING GOALS:** Independent of methodology used, the following represent the basic categories of funding plan goals. They are presented in order of greatest risk to least risk. Risk includes, but is not limited to, cash problems, special assessments, and deferred maintenance.
- Baseline Funding:** Establishing a reserve funding goal of allowing the reserve cash balance to never be below zero during the cash flow projection. This is the funding goal with the greatest risk due to the variabilities encountered in the timing of component replacements and repair and replacement costs.
- Threshold Funding:** Establishing a reserve funding goal of keeping the reserve balance above a specified dollar or percent funded amount. Depending on the threshold selected, this funding goal may be weaker or stronger than “Fully Funded” with respective higher risk or less risk of cash problems.
- Full Funding:** Setting a reserve funding goal to attain and maintain reserves at or near 100 percent funded. This is the most conservative funding goal.
- It should be noted that in certain jurisdictions there may be statutory funding requirements that would dictate the minimum requirements for funding.*
16. **FUNDING PLAN:** An association’s plan to provide income to a reserve fund to offset anticipated expenditures from that fund. The plan must be a minimum of thirty (30) years.
17. **FUNDING PRINCIPLES:** The reserve provider must provide a funding plan addressing these principles.
- Sufficient funds when required
 - Stable contribution rate over the years
 - Equitable contribution rate over the years
 - Fiscally responsible
18. **GROSS SQUARE FEET (GSF):** (Area) Equivalent to square feet.
19. **GROSS SQUARE YARDS (GSY):** (Area) Equivalent to square yards.

20. **HORSEPOWER** is abbreviated as **HP**.
21. **INFLATION**: Cost factors are adjusted for inflation at the rate defined in the Executive Summary and compounded annually. These increasing costs can be seen as you follow the recurring cycles of a component on the “10-yr Income/Expense Detail” table.
22. **INTEREST**: Interest earnings on Reserve Funds are calculated using the average balance for the year (taking into account income and expenses through the year) and compounded monthly using the rate defined in the Executive Summary. Annual interest earning assumption appears in the Executive Summary.
23. **LIFE AND VALUATION ESTIMATES**: The task of estimating useful life, remaining useful life, and current repair or replacement costs for the reserve components.
24. **LINEAR FEET** is length abbreviated as **LF**.
25. **PERCENT FUNDED**: The ratio, at a particular point in time related to the fiscal year end, of the actual (or projected) reserve balance to the fully funded balance, expressed as a percentage. While percent funded is an indicator of an association’s reserve fund size, it should be viewed in the context of how it is changing due to the association’s reserve funding plan in light of the association’s risk tolerance.
26. **PHYSICAL ANALYSIS**: The portion of the reserve study where the component inventory, condition assessment, and life and valuation estimate tasks are performed. This represents one of the two parts of the reserve study.
27. **REMAINING USEFUL LIFE (RUL)**: Also referred to as “remaining life” (RL). The estimated time, in years, that a reserve component can be expected to serve its intended function. Projects expected to occur in the initial year have zero remaining useful life.
28. **REPLACEMENT COST**: The cost to replace, repair, or restore the component to its original functional condition during that particular year, including all related expenses (including but not limited to shipping, engineering and design, permits, installation, disposal, etc.).
29. **RESERVE BALANCE**: Actual or projected funds, as of a particular point in time that the association has identified, to defray the future repair or replacement cost of those major components that the association is obligated to maintain or replace. Also known as reserves, reserve accounts, cash reserves. **Based on information provided and not audited.**
30. **SPECIAL ASSESSMENT**: A temporary assessment levied on the members of an association in addition to regular assessments. *Note that special assessments are often regulated by governing documents or local statutes.*
31. **USEFUL LIFE (UL)**: The estimated time, in years, that a reserve component can be expected to serve its intended function if properly constructed in its present application or installation.

Disclosures

1. I am qualified and licensed to practice in the State of Florida. I do not have an affiliation or other financial interest in the subject property. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the structure, based upon careful evaluation of the present condition of the structure, to the extent reasonably possible.
2. The thoroughness of the in-site observations conducted herein is based on the Level of Service selected on Page 2 and shall not include: (i) destructive testing or not; (ii) representative samplings vs all common areas, or (iii) field measurements vs. drawing take-offs.
3. Financial Analysis: Description of assumptions utilized for interest and inflation, tax and other outside factors.
4. Update Reports: Disclosure of how the current work is reliant on the validity of prior Reserve Studies.
5. Completeness: Material issues which, if not disclosed, would cause a distortion of the association's situation.
6. Reliance on Client Data: Information provided by the official representative of the association regarding financial, physical, quantity, or historical issues will be deemed reliable by the consultant and assembled for the association's use, not for the purpose of performing an audit, quality/forensic analysis, or background checks of historical records.
7. Component Quantities: For update with site visit and update no site visit levels of service, the client is considered to have deemed previously developed component quantities as accurate and reliable.
8. Reserve Projects: Information provided about reserve projects will be considered reliable. Any on-site inspection should not be considered a project audit or quality inspection.

Reserve Funding Goals and Methodology:

Pooled Funding (also known as "Cash Flow Method"):

The recommended funding plan aims to achieve and sustain reserves at or close to 100 percent funding. This approach ensures a substantial reserve fund, reducing the likelihood of special assessments or loans when unexpected expenses arise, such as higher component costs, shorter component lifespans, or unforeseen circumstances.

According to the Florida Administrative Code, for Florida associations using the pooled funding method, there is a minimum requirement for the current year's contribution. It should be set at a level that ensures the balance on hand at the beginning of the budget period, along with the projected annual cash inflows over the estimated remaining lives of the items in the reserve pool, is greater than the estimated cash outflows over the same period. This requirement ensures that the association maintains an adequate level of funding for its reserves. In Florida, meeting this objective is commonly known as "fully funding" the reserves. If a proposed budget falls short of the required amount, it must be approved by majority vote of the ownership. Please consult with the legal counsel for Bryn Mawr Ocean Towers Condominium Association for further guidance on waiving or partial funding of reserves.)

It is important to note that although it is often referred to as "fully funding" reserves in Florida, it is also recognized as "baseline funding" in the National Reserve Study Standards (NRSS), as defined in #13 of the Terms and Definitions Section herein. This funding approach carries the highest risk due to uncertainties related to the timing of component replacements, repair costs, and replacement costs.

According to the Florida Division of Condominiums, Timeshares, and Mobile Homes ("the Division"), in certain instances, it is mandated that a community association's reserve funding plan should not include year-over-

year increases in the recommended contribution rate. In other words, the proposed amount of reserve funding must remain constant throughout the projected long-term forecast. This requirement is intended to fulfill the Division's directive, as stated in Florida Administrative Code rule 61B-22.005(3)(b), stating that:

“If the association maintains a pooled account of two or more of the required reserve assets, the amount of the contribution to the pooled reserve account as disclosed on the proposed budget shall be not less than that required to ensure that the balance on hand at the beginning of the period for which the budget will go into effect plus the projected annual cash inflows over the remaining estimated useful lives of all of the assets that make up the reserve pool are equal to or greater than the projected annual cash outflows over the remaining estimated useful lives of all of the assets that make up the reserve pool, based on the current reserve analysis. The projected annual cash inflows may include estimated earnings from investment of principal. The reserve funding formula shall not include any type of balloon payments.”

Table Descriptions:

1. Reserve Summary is a summary of your Reserve Components
2. Budget Summary is a management and accounting tool, summarizing groupings of your Reserve Components
3. Analysis Summary provides a summary of the starting financial information and your Project Manager's Financial Analysis decision points.
4. Reserve Component List Detail discloses key Component information, providing the foundation upon which the financial analysis is performed.
5. Fully Funded Balance shows the calculation of the Fully Funded Balance for each of your components, and their contributions to the association total. For each component, the Fully Funded Balance is the fraction of life used up multiplied by its estimated Current Replacement Cost
6. Component Significance shows the relative significance of each component to Reserve funding needs of the association, helping you see which components have more (or less) influence than others on your total Reserve contribution rate. The deterioration cost/yr of each component is calculated by dividing the estimated Current Replacement Cost by its Useful Life, then that component's percentage of the total is displayed.
7. Accounting-Tax Summary provides information on each Component's proportionate portion of key totals, valuable to accounting professionals primarily during tax preparation time of year.
8. 30-Yr Reserve Plan Summary provides a one-page 30-year summary of the cash flowing into and out of the Reserve Fund, with a display of the Fully Funded Balance, Percent Funded, and special assessment risk at the beginning of each year.
9. 30-Year Income/Expense Detail shows the detailed income and expenses for each of the next 30 years. This table makes it possible to see which components are projected to require repair or replacement in a particular year, and the size of those individual expenses.

Summary of Reserve Study

Bryn Mawr Ocean Towers Condominium Association has retained the services of Smyth Engineering, Inc to perform the Milestone Inspection Phase I and Structural Integrity Reserve Study for Bryn Mawr Ocean Towers located in Hutchinson Island South, FL. This reserve study includes all primary S.I.R.S. components and non-S.I.R.S. components to put together a substantial reserve study of all applicable reserve fund categories with a thirty-year cash flow analysis as required by the Community Association Institute (C.A.I.). The reserves as indicated are required to pay for maintaining, repairing, and replacing the capital improvement of Bryn Mawr Ocean Towers Condominium Association

On October 23rd and 24th, 2023, Smyth Engineering met with Jacob, maintenance manager for Bryn Mawr Ocean Towers. We discussed the process for the inspection and received feedback for ongoing and future planned repairs for various building components.

Reserves are monies budgeted, collected, and set aside for replacement or deferred maintenance. Bryn Mawr Ocean Towers Condominium Association has provided their proposed budget as well as a reserve narrative that were used to establish this reserve study. Without adequate reserves, owners may be subject to either special assessments or may not be able to remove or replace the common area assets. It is also recommended to keep a review fund available for natural disasters. Although these are not predictable, it is advisable to be prepared and have these additional funds available for when disaster strikes.

This analysis follows the straight-line component method to determine the physical analysis of the various building components as it relates to the overall cost of the replacement/repair of respective components over time. For the purposes of the reserve study, the salvage value is \$0 and the respective building components will be addressed when the end of the useful life is reached, unless it is deemed the replacement/repair is needed prior due life safety concerns. The estimated replacement/repair costs are based on industry standard pricing, existing building/permit records, and verification of historical replacement cost of the components. The costs over the 30-year period take into consideration an annual inflation rate of 2.5%. This rate is an assumption and the future reserve contributions will also be adjusted to reflect this assumed inflation rate. It is advised that Bryn Mawr Ocean Towers update the reserves to account for actual inflation. Due to increasing material cost year-over-year, inflation, and other factors that cause an overall increase in the price of the replacement/repairs of components, logically, there will need to be an increase in the amount of reserves required to be allocated each subsequent year.

The reserve summary provided is an overview of the overall strength of the reserves, and the contributions needed for the following year to reach a status of “fully funded”. In this section, the normal annual contributions are added along with any deficit amounts needed to maintain a positive balance in the reserve account.

The reserve analysis section provided is a detailed breakdown of the component items into each reserve category and if the component needs to be fully funded or not. The components are broken down to provide the useful life, remaining life, replacement cost, normal annual contribution, and the current reserve requirement.

A reserve funding analysis is also provided, broken down by year, for all the expenses that will occur for the next thirty (30) years with the year-end fund balance. The normal annual contribution represents the replacement cost divided by the number of years of useful life.

The goal is to meet anticipated reserve expenditures over the next 30 years and maintain a positive cash baseline.

Property Description:

Building legal name:	Bryn Mawr Ocean Towers
Site address:	5055, 5061, 5059 N A1A, Hutchinson Island South, FL 34949
Parcel Number:	1414-601-0087-000-2
Occupancy classification:	HIRD - Residential Multi-Family
Present use:	Condominium
Type of construction:	Concrete block structure (C.B.S.)
Buildings square footage:	34,200
Property square footage:	613,920
Year built:	Building A & B: 1984, Building C: 1989
Number of stories:	(3) 9-story buildings
Total number of units:	156
Extension to the original structure:	No
Special features:	Pool, tennis court, walking dock
Inspection commencement date:	October 23 th , 2023
Inspection completion date:	October 24 th , 2023
Units entered:	Building A: 506, 605, 803, 901 Building B: 204, 302, 501, 902 Building C: 104, 203, 305, 804, 904

List of primary S.I.R.S. building components assessed during inspection:

<input checked="" type="checkbox"/>	Roofs
<input type="checkbox"/>	Exterior stucco
<input checked="" type="checkbox"/>	Exterior Doors
<input type="checkbox"/>	Carports
<input checked="" type="checkbox"/>	Structure, including load-bearing walls and primary structural members and primary structural systems as those terms are defined in <i>Fla. Stat. § 627.706</i>
<input type="checkbox"/>	Floors
<input type="checkbox"/>	Foundations
<input checked="" type="checkbox"/>	Fireproofing and fire protection systems
<input checked="" type="checkbox"/>	Plumbing
<input checked="" type="checkbox"/>	Electrical systems
<input checked="" type="checkbox"/>	Waterproofing
<input checked="" type="checkbox"/>	Windows
<input type="checkbox"/>	Elevators
<input type="checkbox"/>	Mechanical systems

<input type="checkbox"/>	Swimming pool or spa and equipment
<input type="checkbox"/>	Pavement and parking areas
<input type="checkbox"/>	Drainage systems
<input checked="" type="checkbox"/>	Exterior Painting
<input type="checkbox"/>	Irrigation systems

2024 Reserve Summary					
Bryn Mawr Ocean Tower Condominiums					
Total number of units: 156					
5055, 5059, 5061 N North Highway A1A, Hutchinson Island, FL 34949					
Pool of funds - Fiscal Year runs January 1st through December 31st					
Beginning Reserve Fund Balance: \$597,119.00					
Category	Repair/ Replace. Cost	Useful Life (years)	Remain Life (years)	Current Reserve Requirement	2025 Contri.per unit
Building A and B - SIRS					
03 31 11 Structural Concrete Restoration	\$ 624,000.00	8	6	\$ 156,000.00	\$ 1,000.00
07 14 16 Waterproofing - Reseal catwalks	\$ 102,448.00	3	2	\$ 34,149.33	\$ 218.91
07 14 16 Waterproofing - Resurface catwalks	\$ 295,562.48	12	11	\$ 24,630.21	\$ 157.89
07 52 00 Built Up Modified Roofing	\$ 336,072.00	20	2	\$ 302,464.80	\$ 1,938.88
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ 117,600.00	40	1	\$ 114,660.00	\$ 735.00
08 30 00 Sliding Glass Doors	\$ 23,100.00	40	1	\$ 22,522.50	\$ 144.38
08 56 19 Storefronts with Sidelights and Transoms	\$ 75,000.00	50	11	\$ 58,500.00	\$ 375.00
09 91 00 Painting - Exterior Masonry Surfaces	\$ 252,330.88	8	3	\$ 157,706.80	\$ 1,010.94
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ 10,674.00	8	6	\$ 2,668.50	\$ 17.11
09 90 00 Painting Exterior Balcony Aluminum Railings	\$ 15,180.00	8	6	\$ 3,795.00	\$ 24.33
21 05 00 Fire Protection - Fire alarm - Modernize	\$ 111,576.58	20	8	\$ 66,945.95	\$ 429.14
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ 11,340.00	25	6	\$ 8,618.40	\$ 55.25
26 05 00 Electrical Service Modernization	\$ 50,000.00	50	11	\$ 39,000.00	\$ 250.00
Building C - SIRS					
03 31 11 Structural Concrete Restoration	\$ 312,000.00	8	6	\$ 78,000.00	\$ 500.00
07 14 16 Waterproofing - Reseal catwalks	\$ 51,224.00	3	2	\$ 17,074.67	\$ 109.45
07 14 16 Waterproofing - Resurface catwalks	\$ 147,781.24	12	11	\$ 12,315.10	\$ 78.94
07 52 00 Built Up Modified Roofing	\$ 168,036.00	20	1	\$ 159,634.20	\$ 1,023.30
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ 58,800.00	40	6	\$ 49,980.00	\$ 320.38
08 30 00 Sliding Glass Doors	\$ 23,100.00	40	6	\$ 19,635.00	\$ 125.87
08 56 19 Storefront Doors with Sidelights and Transoms	\$ 37,500.00	50	16	\$ 25,500.00	\$ 163.46
09 91 00 Painting - Exterior Masonry Surfaces	\$ 126,165.44	8	3	\$ 78,853.40	\$ 505.47
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ 10,674.00	8	6	\$ 2,668.50	\$ 17.11
09 90 00 Painting Exterior Balcony Aluminum Railings	\$ 7,590.00	8	6	\$ 1,897.50	\$ 12.16
21 05 00 Fire Protection - Fire alarm - Modernize	\$ 55,788.29	20	8	\$ 33,472.97	\$ 214.57
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ 374,490.00	25	6	\$ 284,612.40	\$ 1,824.44
26 05 00 Electrical Service Modernization	\$ 50,000.00	50	16	\$ 34,000.00	\$ 217.95
Common Area - SIRS					
Wood Shake Roof - Pool House/Guard House	\$ 49,210.00	30	15	\$ 24,605.00	\$ 157.72
08 30 00 Common Glass Doors	\$ 16,800.00	40	6	\$ 14,280.00	\$ 91.54
08 56 19 Storefronts with Sidelights and Transoms	\$ 38,925.00	50	6	\$ 34,254.00	\$ 219.58
33 32 13 Plumbing - Lift Station	\$ 211,245.00	50	11	\$ 164,771.10	\$ 1,056.23
22 05 00 Fire Protection- Fire Pump	\$ 48,500.00	25	10	\$ 29,100.00	\$ 186.54
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ 18,000.00	50	11	\$ 14,040.00	\$ 90.00
09 91 00 Painting - Exterior Metal Railings - Pool Deck	\$ 600.00	8	6	\$ 150.00	\$ 0.96
26 56 16 Street Lights	\$ 102,000.00	40	1	\$ 99,450.00	\$ 637.50
Total	\$ 3,933,312.91			\$2,169,955.33	\$13,909.97

Reserve Fund Strength: 27.5%

Reserve Amount: \$597,119.00

Required Funds: \$2,169,955.00

Reserve Fund Strength			
<input type="checkbox"/>		0%	Poor
<input type="checkbox"/>		10%	
<input checked="" type="checkbox"/>		20%	
<input type="checkbox"/>		30%	
<input type="checkbox"/>		40%	Fair
<input type="checkbox"/>		50%	
<input type="checkbox"/>		60%	
<input type="checkbox"/>		70%	
<input type="checkbox"/>		80%	Strong
<input type="checkbox"/>		90%	
<input type="checkbox"/>		100%	
<input type="checkbox"/>		110%	
<input type="checkbox"/>		120%	

This Report and Reserve Study was prepared or overseen by a licensed engineer. No assets appropriate for Reserve designation were excluded. As of the start of the initial fiscal year shown in this study, your Reserve fund is determined to be **27.5 % Funded**. Based on this figure, A special assessment will be required to bring your reserves to fully funded status. The objective of your multi-year Funding Plan is to Fully Fund your Reserves, meaning you will have the necessary funds to repair/replace your respective building components when the time comes.

Financial Analysis

Reserve Summary

The reserve summary takes into consideration all required S.I.R.S. components and non-S.I.R.S. components and provides a cost to bring the reserves to fully funded by the end of the first year and a cost per year, normal annual contribution, to account for all expenses for the next 30 years. Please note that it is difficult to determine with a high degree of accuracy failures that will occur 20 years from now and there will be building components at some of the buildings that will break down at a different rate than other buildings. It is better to be prepared for the expenses as they are needed, taking into consideration natural disasters, than to borrow funds or perform a special assessment for building components that must be repaired/replaced immediately.

Reserve Component Analysis

The starting point for our financial analysis is your Reserve Fund balance, projected to be \$597,119.00 as of the start of your Fiscal Year on 1/1/2025. This is based either on information provided directly to us, or using your most recent available Reserve account balance, plus any budgeted contributions and less any planned expenses through the end of your Fiscal Year. As of your Fiscal Year Start, your Fully Funded Balance is computed to be \$2,169,955.00 by the end of the fiscal year minus required expenses. This figure represents the deteriorated value of your common area components. Comparing your Reserve Balance to your Fully Funded Balance indicates your Reserves are 27.5 % Funded.

Reserve Funding Analysis

Based on your current Percent Funded and your near-term and long-term Reserve needs, we are recommending budgeted contributions of \$1,572,836.00 in the upcoming fiscal year. At minimum, the Association must budget for Reserves in the upcoming year and \$ 327,410.43 the subsequent year and each following year with the addition of inflation. This is shown in the reserve funding analysis.

Reserve Component Analysis

Buildings A and B								
Div	Useful life	Remain. Life	Quantity	Unit Quantity	Unit Cost	Replacement/ Restoration Cost	Normal Annual Contribution	Current Reserve Requirement
03 31 11 Structural Concrete Restoration	8	6	104	Units	\$ 6,000.00	\$ 624,000.00	\$78,000.00	\$ 156,000.00
07 14 16 Waterproofing - Reseal catwalks	3	2	25,612	Square Feet	\$ 4.00	\$ 102,448.00	\$34,149.33	\$ 34,149.33
07 14 16 Waterproofing - Resurface catwalks	12	11	25,612	Square Feet	\$ 11.54	\$ 295,562.48	\$24,630.21	\$ 24,630.21
07 52 00 Built Up Modified Roofing	20	2	22,800	Square Feet	\$ 14.74	\$ 336,072.00	\$16,803.60	\$ 302,464.80
08 11 13 Exterior Utility Doors - Solid Core Masonite	40	1	112	Each	\$ 1,050.00	\$ 117,600.00	\$ 2,940.00	\$ 114,660.00
08 30 00 Sliding Glass Doors	40	1	308	Square Feet	\$ 75.00	\$ 23,100.00	\$ 577.50	\$ 22,522.50
08 56 19 Storefront doors with Sidelights and Transoms	50	11	1000	Square Feet	\$ 75.00	\$ 75,000.00	\$ 1,500.00	\$ 58,500.00
09 91 00 Painting - Exterior Masonry Surfaces	8	3	119,024	Square Feet	\$ 2.12	\$ 252,330.88	\$31,541.36	\$ 94,624.08
09 91 00 Painting - Exterior Concrete Railings - Catwalks	8	6	3,558	Linear Feet	\$ 3.00	\$ 10,674.00	\$ 1,334.25	\$ 8,005.50
09 90 00 Painting Exterior Aluminum Balcony Railings	8	6	5,060	Linear Feet	\$ 3.00	\$ 15,180.00	\$ 1,897.50	\$ 11,385.00
21 05 00 Fire Protection - Fire alarm - Modernize	20	8	2	Lump Sum	\$ 55,788.29	\$ 111,576.58	\$ 5,578.83	\$ 66,945.95
22 05 00 Fire Protection - Fire Sprinkler - Replacement	25	6	1400	Square Feet	\$ 8.10	\$ 11,340.00	\$ 453.60	\$ 8,618.40
26 05 00 Electrical Service Modernization	50	11	1	Lump Sum	\$ -	\$ 50,000.00	\$ 1,000.00	\$ 39,000.00
Total						\$2,024,883.94	\$200,406.18	\$941,505.77

Building C								
Div	Useful life	Remain. Life	Quantity	Unit Quantity	Unit Cost	Replacement/ Restoration Cost	Normal Annual Contribution	Current Reserve Requirement
03 31 11 Structural Concrete Restoration	8	6	52	Units	\$ 6,000.00	\$ 312,000.00	\$39,000.00	\$ 78,000.00
07 14 16 Waterproofing - Reseal catwalks	3	2	12,806	Square Feet	\$ 4.00	\$ 51,224.00	\$17,074.67	\$ 17,074.67
07 14 16 Waterproofing - Resurface catwalks	12	11	12,806	Square Feet	\$ 11.54	\$ 147,781.24	\$12,315.10	\$ 12,315.10
07 52 00 Built Up Modified Roofing	20	1	11,400	Square Feet	\$ 14.74	\$ 168,036.00	\$ 8,401.80	\$ 159,634.20
08 11 13 Exterior Utility Doors - Solid Core Masonite	40	6	56	Each	\$ 1,050.00	\$ 58,800.00	\$ 1,470.00	\$ 49,980.00
08 30 00 Sliding Glass Doors	40	6	11	Each	\$ 2,100.00	\$ 23,100.00	\$ 577.50	\$ 19,635.00
08 56 19 Storefronts with Sidelights and Transoms	50	16	500	Square Feet	\$ 75.00	\$ 37,500.00	\$ 750.00	\$ 25,500.00
09 91 00 Painting - Exterior Masonry Surfaces	8	3	59,512	Square Feet	\$ 2.12	\$ 126,165.44	\$15,770.68	\$ 47,312.04
09 91 00 Painting - Exterior Concrete Railings - Catwalks	8	6	3,558	Linear Feet	\$ 3.00	\$ 10,674.00	\$ 1,334.25	\$ 8,005.50
09 90 00 Painting Exterior Balcony Aluminum Railings	8	6	2,530	Linear Feet	\$ 3.00	\$ 7,590.00	\$ 948.75	\$ 5,692.50
21 05 00 Fire Protection - Fire alarm - Modernize	20	8	1	Lump Sum	\$ 55,788.29	\$ 55,788.29	\$ 2,789.41	\$ 33,472.97
22 05 00 Fire Protection - Fire Sprinkler - Replacement	25	6	102600	Square Feet	\$ 3.65	\$ 374,490.00	\$14,979.60	\$ 284,612.40
26 05 00 Electrical Service Modernization	50	16	1	Lump Sum	\$ -	\$ 50,000.00	\$ 1,000.00	\$ 34,000.00
Total						\$1,423,148.97	\$116,411.76	\$775,234.38

Common Area								
Div	Useful	Remain.	Quantity	Unit	Unit Cost	Replacement/	Normal	Current Reserve
Wood Shake Roof - Pool House/Guard House	30	15	7000	Square Feet	\$ 7.03	\$ 49,210.00	\$ 1,640.33	\$ 24,605.00
08 30 00 Common Glass Doors	40	6	7	Each	\$ 2,400.00	\$ 16,800.00	\$ 420.00	\$ 14,280.00
08 56 19 Storefronts with Sidelights and Transoms	50	6	519	Square Feet	\$ 75.00	\$ 38,925.00	\$ 778.50	\$ 34,254.00
33 32 13 Plumbing - Lift Station	50	11	1	Each	\$211,245.00	\$ 211,245.00	\$ 4,224.90	\$ 164,771.10
22 05 00 Fire Protection- Fire Pump	25	10	1	Each	\$ 48,500.00	\$ 48,500.00	\$ 1,940.00	\$ 29,100.00
09 91 00 Painting - Exterior Metal Railings - Pool Deck	8	6	200	Linear Feet	\$ 3.00	\$ 600.00	\$ 75.00	\$ 150.00
26 56 16 Street Lights	40	1	51	Each	\$ 2,000.00	\$ 102,000.00	\$ 2,550.00	\$ 99,450.00
Total						\$ 467,280.00	\$11,628.73	\$366,610.10

Reserve Funding Analysis

Year Number	1			2		
Year	2025			2026		
Starting Reserve Balance	\$597,119.00			\$1,162,566.25		
Ending Reserve Balance	\$2,097,801.85			\$1,491,312.33		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 156,000.00	\$ 1,000.00	\$ -	\$ 78,000.00	\$ 500.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 34,149.33	\$ 218.91	\$ 107,570.40	\$ 34,149.33	\$ 218.91
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 24,630.21	\$ 157.89	\$ -	\$ 24,630.21	\$ 157.89
07 52 00 Built Up Modified Roofing	\$ -	\$ 302,464.80	\$ 1,938.88	\$ 352,875.60	\$ 16,803.60	\$ 107.72
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 114,660.00	\$ 735.00	\$ 120,540.00	\$ 2,940.00	\$ 18.85
08 30 00 Sliding Glass Doors	\$ -	\$ 22,522.50	\$ 144.38	\$ 23,677.50	\$ 577.50	\$ 3.70
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 58,500.00	\$ 375.00	\$ -	\$ 1,500.00	\$ 9.62
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 94,624.08	\$ 606.56	\$ -	\$ 31,541.36	\$ 202.19
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 8,005.50	\$ 51.32	\$ -	\$ 1,334.25	\$ 8.55
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 11,385.00	\$ 72.98	\$ -	\$ 1,897.50	\$ 12.16
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 66,945.95	\$ 429.14	\$ -	\$ 5,578.83	\$ 35.76
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 8,618.40	\$ 55.25	\$ -	\$ 453.60	\$ 2.91
26 05 00 Electrical Service Modernization	\$ -	\$ 39,000.00	\$ 250.00	\$ -	\$ 1,000.00	\$ 6.41
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 78,000.00	\$ 500.00	\$ -	\$ 39,000.00	\$ 250.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 17,074.67	\$ 109.45	\$ 53,785.20	\$ 17,074.67	\$ 109.45
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 12,315.10	\$ 78.94	\$ -	\$ 12,315.10	\$ 78.94
07 52 00 Built Up Modified Roofing	\$ -	\$ 159,634.20	\$ 1,023.30	\$ 172,236.90	\$ 8,401.80	\$ 53.86
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 49,980.00	\$ 320.38	\$ -	\$ 1,470.00	\$ 9.42
08 30 00 Sliding Glass Doors	\$ -	\$ 19,635.00	\$ 125.87	\$ -	\$ 577.50	\$ 3.70
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 25,500.00	\$ 163.46	\$ -	\$ 750.00	\$ 4.81
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 47,312.04	\$ 303.28	\$ -	\$ 15,770.68	\$ 101.09
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 8,005.50	\$ 51.32	\$ -	\$ 1,334.25	\$ 8.55
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 5,692.50	\$ 36.49	\$ -	\$ 948.75	\$ 6.08
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 33,472.97	\$ 214.57	\$ -	\$ 2,789.41	\$ 17.88
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 284,612.40	\$ 1,824.44	\$ -	\$ 14,979.60	\$ 96.02
26 05 00 Electrical Service Modernization	\$ -	\$ 34,000.00	\$ 217.95	\$ -	\$ 1,000.00	\$ 6.41
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 24,605.00	\$ 157.72	\$ -	\$ 1,640.33	\$ 10.51
08 30 00 Sliding Glass Doors	\$ -	\$ 14,280.00	\$ 91.54	\$ -	\$ 420.00	\$ 2.69
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 34,254.00	\$ 219.58	\$ -	\$ 778.50	\$ 4.99
33 32 13 Plumbing - Lift Station	\$ -	\$ 164,771.10	\$ 1,056.23	\$ -	\$ 4,224.90	\$ 27.08
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 29,100.00	\$ 186.54	\$ -	\$ 1,940.00	\$ 12.44
26 56 16 Street Lights	\$ -	\$ 99,450.00	\$ 637.50	\$ 104,550.00	\$ 2,550.00	\$ 16.35
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 14,601.60	\$ 93.60	\$ -	\$ 374.40	\$ 2.40
Total	\$ -	\$ 2,097,801.85	\$ 13,447.45	\$ 935,235.60	\$ 328,746.08	\$ 2,107.35

Year Number	3			4		
Year	2027			2028		
Starting Reserve Balance	\$1,084,428.78			\$1,424,563.26		
Ending Reserve Balance	\$1,424,563.26			\$1,769,746.64		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 79,950.00	\$ 512.50	\$ -	\$ 81,900.00	\$ 525.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 35,003.07	\$ 224.38	\$ -	\$ 35,856.80	\$ 229.85
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 25,245.96	\$ 161.83	\$ -	\$ 25,861.72	\$ 165.78
07 52 00 Built Up Modified Roofing	\$ -	\$ 17,223.69	\$ 110.41	\$ -	\$ 17,643.78	\$ 113.10
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,013.50	\$ 19.32	\$ -	\$ 3,087.00	\$ 19.79
08 30 00 Sliding Glass Doors	\$ -	\$ 591.94	\$ 3.79	\$ -	\$ 606.38	\$ 3.89
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,537.50	\$ 9.86	\$ -	\$ 1,575.00	\$ 10.10
09 91 00 Painting - Exterior Masonry Surfaces	\$ 271,255.70	\$ 32,329.89	\$ 207.24	\$ -	\$ 33,118.43	\$ 212.30
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,367.61	\$ 8.77	\$ -	\$ 1,400.96	\$ 8.98
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,944.94	\$ 12.47	\$ -	\$ 1,992.38	\$ 12.77
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 5,718.30	\$ 36.66	\$ -	\$ 5,857.77	\$ 37.55
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 464.94	\$ 2.98	\$ -	\$ 476.28	\$ 3.05
26 05 00 Electrical Service Modernization	\$ -	\$ 1,050.00	\$ 6.73	\$ -	\$ 1,050.00	\$ 6.73
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 40,950.00	\$ 262.50	\$ -	\$ 40,950.00	\$ 262.50
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 17,928.40	\$ 114.93	\$ -	\$ 17,928.40	\$ 114.93
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 12,930.86	\$ 82.89	\$ -	\$ 12,930.86	\$ 82.89
07 52 00 Built Up Modified Roofing	\$ -	\$ 8,821.89	\$ 56.55	\$ -	\$ 8,821.89	\$ 56.55
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,543.50	\$ 9.89	\$ -	\$ 1,543.50	\$ 9.89
08 30 00 Sliding Glass Doors	\$ -	\$ 606.38	\$ 3.89	\$ -	\$ 606.38	\$ 3.89
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 787.50	\$ 5.05	\$ -	\$ 787.50	\$ 5.05
09 91 00 Painting - Exterior Masonry Surfaces	\$ 135,627.85	\$ 16,559.21	\$ 106.15	\$ -	\$ 16,559.21	\$ 106.15
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,400.96	\$ 8.98	\$ -	\$ 1,400.96	\$ 8.98
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 996.19	\$ 6.39	\$ -	\$ 996.19	\$ 6.39
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 2,928.89	\$ 18.77	\$ -	\$ 2,928.89	\$ 18.77
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 15,728.58	\$ 100.82	\$ -	\$ 15,728.58	\$ 100.82
26 05 00 Electrical Service Modernization	\$ -	\$ 1,050.00	\$ 6.73	\$ -	\$ 1,050.00	\$ 6.73
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 1,722.35	\$ 11.04	\$ -	\$ 1,722.35	\$ 11.04
08 30 00 Sliding Glass Doors	\$ -	\$ 441.00	\$ 2.83	\$ -	\$ 441.00	\$ 2.83
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 817.43	\$ 5.24	\$ -	\$ 817.43	\$ 5.24
33 32 13 Plumbing - Lift Station	\$ -	\$ 4,436.15	\$ 28.44	\$ -	\$ 4,436.15	\$ 28.44
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,037.00	\$ 13.06	\$ -	\$ 2,037.00	\$ 13.06
26 56 16 Street Lights	\$ -	\$ 2,613.75	\$ 16.75	\$ -	\$ 2,677.50	\$ 17.16
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 393.12	\$ 2.52	\$ -	\$ 393.12	\$ 2.52
Total	\$ 406,883.54	\$ 340,134.48	\$ 2,180.35	\$ -	\$ 345,183.38	\$ 2,212.71

Year Number	5			6		
Year	2029			2030		
Starting Reserve Balance	\$1,596,865.64			\$297,517.57		
Ending Reserve Balance	\$1,950,267.67			\$659,138.26		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 83,850.00	\$ 537.50	\$ 717,600.00	\$ 85,800.00	\$ 550.00
07 14 16 Waterproofing - Reseal catwalks	\$ 115,254.00	\$ 36,710.53	\$ 235.32	\$ -	\$ 37,564.27	\$ 257.29
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 26,477.47	\$ 169.73	\$ -	\$ 27,093.23	\$ 185.57
07 52 00 Built Up Modified Roofing	\$ -	\$ 18,063.87	\$ 115.79	\$ -	\$ 18,483.96	\$ 126.60
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,160.50	\$ 20.26	\$ -	\$ 3,234.00	\$ 22.15
08 30 00 Sliding Glass Doors	\$ -	\$ 620.81	\$ 3.98	\$ -	\$ 635.25	\$ 4.35
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,612.50	\$ 10.34	\$ -	\$ 1,650.00	\$ 11.30
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 33,906.96	\$ 217.35	\$ -	\$ 34,695.50	\$ 237.64
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,434.32	\$ 9.19	\$ 12,275.10	\$ 1,467.68	\$ 10.05
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,039.81	\$ 13.08	\$ 17,457.00	\$ 2,087.25	\$ 14.30
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 5,997.24	\$ 38.44	\$ -	\$ 6,136.71	\$ 42.03
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 487.62	\$ 3.13	\$ 13,041.00	\$ 498.96	\$ 3.42
26 05 00 Electrical Service Modernization	\$ -	\$ 1,075.00	\$ 6.89	\$ -	\$ 1,100.00	\$ 7.53
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 41,925.00	\$ 268.75	\$ 358,800.00	\$ 42,900.00	\$ 293.84
07 14 16 Waterproofing - Reseal catwalks	\$ 57,627.00	\$ 18,355.27	\$ 117.66	\$ -	\$ 18,782.13	\$ 128.64
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 13,238.74	\$ 84.86	\$ -	\$ 13,546.61	\$ 92.79
07 52 00 Built Up Modified Roofing	\$ -	\$ 9,031.94	\$ 57.90	\$ -	\$ 9,241.98	\$ 63.30
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,580.25	\$ 10.13	\$ 67,620.00	\$ 1,617.00	\$ 11.08
08 30 00 Sliding Glass Doors	\$ -	\$ 620.81	\$ 3.98	\$ 26,565.00	\$ 635.25	\$ 4.35
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 806.25	\$ 5.17	\$ -	\$ 825.00	\$ 5.65
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 16,953.48	\$ 108.68	\$ -	\$ 17,347.75	\$ 118.82
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,434.32	\$ 9.19	\$ -	\$ 1,467.68	\$ 10.05
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,019.91	\$ 6.54	\$ 8,728.50	\$ 1,043.63	\$ 7.15
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 2,998.62	\$ 19.22	\$ -	\$ 3,068.36	\$ 21.02
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 16,103.07	\$ 103.22	\$ 430,663.50	\$ 16,477.56	\$ 112.86
26 05 00 Electrical Service Modernization	\$ -	\$ 1,075.00	\$ 6.89	\$ -	\$ 1,100.00	\$ 7.53
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 1,763.36	\$ 11.30	\$ -	\$ 1,804.37	\$ 12.36
08 30 00 Sliding Glass Doors	\$ -	\$ 451.50	\$ 2.89	\$ -	\$ 462.00	\$ 3.16
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 836.89	\$ 5.36	\$ -	\$ 856.35	\$ 5.87
33 32 13 Plumbing - Lift Station	\$ -	\$ 4,541.77	\$ 29.11	\$ -	\$ 4,647.39	\$ 31.83
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,085.50	\$ 13.37	\$ -	\$ 2,134.00	\$ 14.62
26 56 16 Street Lights	\$ -	\$ 2,741.25	\$ 17.57	\$ -	\$ 2,805.00	\$ 17.98
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 402.48	\$ 2.58	\$ -	\$ 411.84	\$ 2.82
Total	\$ 172,881.00	\$ 353,402.03	\$ 2,265.40	\$ 1,652,750.10	\$ 361,620.68	\$ 2,437.95

Year Number	7			8		
Year	2031			2032		
Starting Reserve Balance	\$659,138.26			\$621,269.35		
Ending Reserve Balance	\$1,028,977.60			\$999,327.34		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 87,750.00	\$ 562.50	\$ -	\$ 89,700.00	\$ 575.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 38,418.00	\$ 246.27	\$ 122,937.60	\$ 39,271.73	\$ 251.74
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 27,708.98	\$ 177.62	\$ -	\$ 28,324.74	\$ 181.57
07 52 00 Built Up Modified Roofing	\$ -	\$ 18,904.05	\$ 121.18	\$ -	\$ 19,324.14	\$ 123.87
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,307.50	\$ 21.20	\$ -	\$ 3,381.00	\$ 21.67
08 30 00 Sliding Glass Doors	\$ -	\$ 649.69	\$ 4.16	\$ -	\$ 664.13	\$ 4.26
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,687.50	\$ 10.82	\$ -	\$ 1,725.00	\$ 11.06
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 35,484.03	\$ 227.46	\$ -	\$ 36,272.56	\$ 232.52
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,501.03	\$ 9.62	\$ -	\$ 1,534.39	\$ 9.84
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,134.69	\$ 13.68	\$ -	\$ 2,182.13	\$ 13.99
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 6,276.18	\$ 40.23	\$ 66,945.95	\$ 6,415.65	\$ 41.13
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 510.30	\$ 3.27	\$ -	\$ 521.64	\$ 3.34
26 05 00 Electrical Service Modernization	\$ -	\$ 1,125.00	\$ 7.21	\$ -	\$ 1,150.00	\$ 7.37
Building C						
03 31 11 Structural Concrete Restoration	\$ -	\$ 43,875.00	\$ 281.25	\$ -	\$ 44,850.00	\$ 287.50
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 19,209.00	\$ 123.13	\$ 61,468.80	\$ 19,635.87	\$ 125.87
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 13,854.49	\$ 88.81	\$ -	\$ 14,162.37	\$ 90.78
07 52 00 Built Up Modified Roofing	\$ -	\$ 9,452.03	\$ 60.59	\$ -	\$ 9,662.07	\$ 61.94
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,653.75	\$ 10.60	\$ -	\$ 1,690.50	\$ 10.84
08 30 00 Sliding Glass Doors	\$ -	\$ 649.69	\$ 4.16	\$ -	\$ 664.13	\$ 4.26
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 843.75	\$ 5.41	\$ -	\$ 862.50	\$ 5.53
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 17,742.02	\$ 113.73	\$ -	\$ 18,136.28	\$ 116.26
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,501.03	\$ 9.62	\$ -	\$ 1,534.39	\$ 9.84
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,067.34	\$ 6.84	\$ -	\$ 1,091.06	\$ 6.99
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,138.09	\$ 20.12	\$ 133,891.90	\$ 3,207.83	\$ 20.56
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 16,852.05	\$ 108.03	\$ -	\$ 17,226.54	\$ 110.43
26 05 00 Electrical Service Modernization	\$ -	\$ 1,125.00	\$ 7.21	\$ -	\$ 1,150.00	\$ 7.37
Common Area						
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 1,845.38	\$ 11.83	\$ -	\$ 1,886.38	\$ 12.09
08 30 00 Sliding Glass Doors	\$ -	\$ 472.50	\$ 3.03	\$ -	\$ 483.00	\$ 3.10
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 875.81	\$ 5.61	\$ -	\$ 895.28	\$ 5.74
33 32 13 Plumbing - Lift Station	\$ -	\$ 4,753.01	\$ 30.47	\$ -	\$ 4,858.64	\$ 31.15
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,182.50	\$ 13.99	\$ -	\$ 2,231.00	\$ 14.30
26 56 16 Street Lights	\$ -	\$ 2,868.75	\$ 18.39	\$ -	\$ 2,932.50	\$ 18.80
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 421.20	\$ 2.70	\$ 22,464.00	\$ 430.56	\$ 2.76
Total	\$ -	\$ 369,839.34	\$ 2,370.76	\$ 407,708.24	\$ 378,057.99	\$ 2,423.45

Year Number	9			10		
Year	2033			2034		
Starting Reserve Balance	\$999,327.34			\$1,385,603.98		
Ending Reserve Balance	\$1,385,603.98			\$1,780,099.27		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 91,650.00	\$ 587.50	\$ -	\$ 93,600.00	\$ 600.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 40,125.47	\$ 257.21	\$ -	\$ 40,979.20	\$ 262.69
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 28,940.49	\$ 185.52	\$ -	\$ 29,556.25	\$ 189.46
07 52 00 Built Up Modified Roofing	\$ -	\$ 19,744.23	\$ 126.57	\$ -	\$ 20,164.32	\$ 129.26
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,454.50	\$ 22.14	\$ -	\$ 3,528.00	\$ 22.62
08 30 00 Sliding Glass Doors	\$ -	\$ 678.56	\$ 4.35	\$ -	\$ 693.00	\$ 4.44
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,762.50	\$ 11.30	\$ -	\$ 1,800.00	\$ 11.54
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 37,061.10	\$ 237.57	\$ -	\$ 37,849.63	\$ 242.63
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,567.74	\$ 10.05	\$ -	\$ 1,601.10	\$ 10.26
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,229.56	\$ 14.29	\$ -	\$ 2,277.00	\$ 14.60
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 6,555.12	\$ 42.02	\$ -	\$ 6,694.59	\$ 42.91
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 532.98	\$ 3.42	\$ -	\$ 544.32	\$ 3.49
26 05 00 Electrical Service Modernization	\$ -	\$ 1,175.00	\$ 7.53	\$ -	\$ 1,200.00	\$ 7.69
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 45,825.00	\$ 293.75	\$ -	\$ 46,800.00	\$ 300.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 20,062.73	\$ 128.61	\$ -	\$ 20,489.60	\$ 131.34
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 14,470.25	\$ 92.76	\$ -	\$ 14,778.12	\$ 94.73
07 52 00 Built Up Modified Roofing	\$ -	\$ 9,872.12	\$ 63.28	\$ -	\$ 10,082.16	\$ 64.63
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,727.25	\$ 11.07	\$ -	\$ 1,764.00	\$ 11.31
08 30 00 Sliding Glass Doors	\$ -	\$ 678.56	\$ 4.35	\$ -	\$ 693.00	\$ 4.44
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 881.25	\$ 5.65	\$ -	\$ 900.00	\$ 5.77
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 18,530.55	\$ 118.79	\$ -	\$ 18,924.82	\$ 121.31
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,567.74	\$ 10.05	\$ -	\$ 1,601.10	\$ 10.26
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,114.78	\$ 7.15	\$ -	\$ 1,138.50	\$ 7.30
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,277.56	\$ 21.01	\$ -	\$ 3,347.30	\$ 21.46
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 17,601.03	\$ 112.83	\$ -	\$ 17,975.52	\$ 115.23
26 05 00 Electrical Service Modernization	\$ -	\$ 1,175.00	\$ 7.53	\$ -	\$ 1,200.00	\$ 7.69
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 1,927.39	\$ 12.36	\$ -	\$ 1,968.40	\$ 12.62
08 30 00 Sliding Glass Doors	\$ -	\$ 493.50	\$ 3.16	\$ -	\$ 504.00	\$ 3.23
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 914.74	\$ 5.86	\$ -	\$ 934.20	\$ 5.99
33 32 13 Plumbing - Lift Station	\$ -	\$ 4,964.26	\$ 31.82	\$ -	\$ 5,069.88	\$ 32.50
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,279.50	\$ 14.61	\$ -	\$ 2,328.00	\$ 14.92
26 56 16 Street Lights	\$ -	\$ 2,996.25	\$ 19.21	\$ -	\$ 3,060.00	\$ 19.62
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 439.92	\$ 2.82	\$ -	\$ 449.28	\$ 2.88
Total	\$ -	\$ 386,276.64	\$ 2,476.13	\$ -	\$ 394,495.29	\$ 2,528.82

Year Number	11			12		
Year	2035			2036		
Starting Reserve Balance	\$376,946.42			\$779,660.37		
Ending Reserve Balance	\$779,660.37			\$1,190,592.96		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 95,550.00	\$ 612.50	\$ -	\$ 97,500.00	\$ 625.00
07 14 16 Waterproofing - Reseal catwalks	\$ 130,621.20	\$ 41,832.93	\$ 268.16	\$ -	\$ 42,686.67	\$ 273.63
07 14 16 Waterproofing - Resurface catwalks	\$ 376,842.16	\$ 30,172.00	\$ 193.41	\$ -	\$ 30,787.76	\$ 197.36
07 52 00 Built Up Modified Roofing	\$ -	\$ 20,584.41	\$ 131.95	\$ -	\$ 21,004.50	\$ 134.64
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,601.50	\$ 23.09	\$ -	\$ 3,675.00	\$ 23.56
08 30 00 Sliding Glass Doors	\$ -	\$ 707.44	\$ 4.53	\$ -	\$ 721.88	\$ 4.63
08 56 19 Storefronts with Sidelights and Transoms	\$ 95,625.00	\$ 1,837.50	\$ 11.78	\$ -	\$ 1,875.00	\$ 12.02
09 91 00 Painting - Exterior Masonry Surfaces	\$ 321,721.87	\$ 38,638.17	\$ 247.68	\$ -	\$ 39,426.70	\$ 252.74
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,634.46	\$ 10.48	\$ -	\$ 1,667.81	\$ 10.69
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,324.44	\$ 14.90	\$ -	\$ 2,371.88	\$ 15.20
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 6,834.07	\$ 43.81	\$ -	\$ 6,973.54	\$ 44.70
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 555.66	\$ 3.56	\$ -	\$ 567.00	\$ 3.63
26 05 00 Electrical Service Modernization	\$ -	\$ 1,225.00	\$ 7.85	\$ -	\$ 1,250.00	\$ 8.01
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 47,775.00	\$ 306.25	\$ -	\$ 48,750.00	\$ 312.50
07 14 16 Waterproofing - Reseal catwalks	\$ 65,310.60	\$ 20,916.47	\$ 134.08	\$ -	\$ 21,343.33	\$ 136.82
07 14 16 Waterproofing - Resurface catwalks	\$ 188,421.08	\$ 15,086.00	\$ 96.71	\$ -	\$ 15,393.88	\$ 98.68
07 52 00 Built Up Modified Roofing	\$ -	\$ 10,292.21	\$ 65.98	\$ -	\$ 10,502.25	\$ 67.32
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,800.75	\$ 11.54	\$ -	\$ 1,837.50	\$ 11.78
08 30 00 Sliding Glass Doors	\$ -	\$ 707.44	\$ 4.53	\$ -	\$ 721.88	\$ 4.63
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 918.75	\$ 5.89	\$ -	\$ 937.50	\$ 6.01
09 91 00 Painting - Exterior Masonry Surfaces	\$ 160,860.94	\$ 19,319.08	\$ 123.84	\$ -	\$ 19,713.35	\$ 126.37
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,634.46	\$ 10.48	\$ -	\$ 1,667.81	\$ 10.69
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,162.22	\$ 7.45	\$ -	\$ 1,185.94	\$ 7.60
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,417.03	\$ 21.90	\$ -	\$ 3,486.77	\$ 22.35
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 18,350.01	\$ 117.63	\$ -	\$ 18,724.50	\$ 120.03
26 05 00 Electrical Service Modernization	\$ 63,750.00	\$ 1,225.00	\$ 7.85	\$ -	\$ 1,250.00	\$ 8.01
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,009.41	\$ 12.88	\$ -	\$ 2,050.42	\$ 13.14
08 30 00 Sliding Glass Doors	\$ -	\$ 514.50	\$ 3.30	\$ -	\$ 525.00	\$ 3.37
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 953.66	\$ 6.11	\$ -	\$ 973.13	\$ 6.24
33 32 13 Plumbing - Lift Station	\$ -	\$ 5,175.50	\$ 33.18	\$ -	\$ 5,281.13	\$ 33.85
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,376.50	\$ 15.23	\$ -	\$ 2,425.00	\$ 15.54
26 56 16 Street Lights	\$ -	\$ 3,123.75	\$ 20.02	\$ -	\$ 3,187.50	\$ 20.43
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 458.64	\$ 2.94	\$ -	\$ 468.00	\$ 3.00
Total	\$ 1,403,152.85	\$ 402,713.94	\$ 2,581.50	\$ -	\$ 410,932.60	\$ 2,634.18

Year Number	13			14		
Year	2037			2038		
Starting Reserve Balance	\$1,190,592.96			\$93,537.61		
Ending Reserve Balance	\$1,609,744.21			\$520,907.51		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 99,450.00	\$ 637.50	\$ 842,400.00	\$ 101,400.00	\$ 650.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 43,540.40	\$ 279.11	\$ 138,304.80	\$ 44,394.13	\$ 284.58
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 31,403.51	\$ 201.30	\$ -	\$ 32,019.27	\$ 205.25
07 52 00 Built Up Modified Roofing	\$ -	\$ 21,424.59	\$ 137.34	\$ -	\$ 21,844.68	\$ 140.03
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,748.50	\$ 24.03	\$ -	\$ 3,822.00	\$ 24.50
08 30 00 Sliding Glass Doors	\$ -	\$ 736.31	\$ 4.72	\$ -	\$ 750.75	\$ 4.81
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,912.50	\$ 12.26	\$ -	\$ 1,950.00	\$ 12.50
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 40,215.23	\$ 257.79	\$ -	\$ 41,003.77	\$ 262.84
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,701.17	\$ 10.90	\$ 14,409.90	\$ 1,734.53	\$ 11.12
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,419.31	\$ 15.51	\$ 20,493.00	\$ 2,466.75	\$ 15.81
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 7,113.01	\$ 45.60	\$ -	\$ 7,252.48	\$ 46.49
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 578.34	\$ 3.71	\$ -	\$ 589.68	\$ 3.78
26 05 00 Electrical Service Modernization	\$ -	\$ 1,275.00	\$ 8.17	\$ -	\$ 1,300.00	\$ 8.33
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 49,725.00	\$ 318.75	\$ 421,200.00	\$ 50,700.00	\$ 325.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 21,770.20	\$ 139.55	\$ 69,152.40	\$ 22,197.07	\$ 142.29
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 15,701.76	\$ 100.65	\$ -	\$ 16,009.63	\$ 102.63
07 52 00 Built Up Modified Roofing	\$ -	\$ 10,712.30	\$ 68.67	\$ -	\$ 10,922.34	\$ 70.02
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,874.25	\$ 12.01	\$ -	\$ 1,911.00	\$ 12.25
08 30 00 Sliding Glass Doors	\$ -	\$ 736.31	\$ 4.72	\$ -	\$ 750.75	\$ 4.81
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 956.25	\$ 6.13	\$ -	\$ 975.00	\$ 6.25
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 20,107.62	\$ 128.89	\$ -	\$ 20,501.88	\$ 131.42
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,701.17	\$ 10.90	\$ -	\$ 1,734.53	\$ 11.12
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,209.66	\$ 7.75	\$ 10,246.50	\$ 1,233.38	\$ 7.91
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,556.50	\$ 22.80	\$ -	\$ 3,626.24	\$ 23.25
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 19,098.99	\$ 122.43	\$ -	\$ 19,473.48	\$ 124.83
26 05 00 Electrical Service Modernization	\$ -	\$ 1,275.00	\$ 8.17	\$ -	\$ 1,300.00	\$ 8.33
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,091.43	\$ 13.41	\$ -	\$ 2,132.43	\$ 13.67
08 30 00 Sliding Glass Doors	\$ -	\$ 535.50	\$ 3.43	\$ -	\$ 546.00	\$ 3.50
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 992.59	\$ 6.36	\$ -	\$ 1,012.05	\$ 6.49
33 32 13 Plumbing - Lift Station	\$ -	\$ 5,386.75	\$ 34.53	\$ -	\$ 5,492.37	\$ 35.21
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,473.50	\$ 15.86	\$ -	\$ 2,522.00	\$ 16.17
26 56 16 Street Lights	\$ -	\$ 3,251.25	\$ 20.84	\$ -	\$ 3,315.00	\$ 21.25
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 477.36	\$ 3.06	\$ -	\$ 486.72	\$ 3.12
Total	\$ -	\$ 419,151.25	\$ 2,686.87	\$ 1,516,206.60	\$ 427,369.90	\$ 2,739.55

Year Number	15			16		
Year	2039			2040		
Starting Reserve Balance	\$520,907.51			\$833,996.06		
Ending Reserve Balance	\$956,496.06			\$1,277,803.26		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$103,350.00	\$ 662.50	\$ -	\$105,300.00	\$ 675.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 45,247.87	\$ 290.05	\$ -	\$ 46,101.60	\$ 295.52
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 32,635.02	\$ 209.20	\$ -	\$ 33,250.78	\$ 213.15
07 52 00 Built Up Modified Roofing	\$ -	\$ 22,264.77	\$ 142.72	\$ -	\$ 22,684.86	\$ 145.42
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 3,895.50	\$ 24.97	\$ -	\$ 3,969.00	\$ 25.44
08 30 00 Sliding Glass Doors	\$ -	\$ 765.19	\$ 4.91	\$ -	\$ 779.63	\$ 5.00
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,987.50	\$ 12.74	\$ -	\$ 2,025.00	\$ 12.98
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 41,792.30	\$ 267.90	\$ -	\$ 42,580.84	\$ 272.95
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,767.88	\$ 11.33	\$ -	\$ 1,801.24	\$ 11.55
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,514.19	\$ 16.12	\$ -	\$ 2,561.63	\$ 16.42
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 7,391.95	\$ 47.38	\$ -	\$ 7,531.42	\$ 48.28
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 601.02	\$ 3.85	\$ -	\$ 612.36	\$ 3.93
26 05 00 Electrical Service Modernization	\$ -	\$ 1,325.00	\$ 8.49	\$ -	\$ 1,350.00	\$ 8.65
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 51,675.00	\$ 331.25	\$ -	\$ 52,650.00	\$ 337.50
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 22,623.93	\$ 145.03	\$ -	\$ 23,050.80	\$ 147.76
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 16,317.51	\$ 104.60	\$ -	\$ 16,625.39	\$ 106.57
07 52 00 Built Up Modified Roofing	\$ -	\$ 11,132.39	\$ 71.36	\$ -	\$ 11,342.43	\$ 72.71
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 1,947.75	\$ 12.49	\$ -	\$ 1,984.50	\$ 12.72
08 30 00 Sliding Glass Doors	\$ -	\$ 765.19	\$ 4.91	\$ -	\$ 779.63	\$ 5.00
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 993.75	\$ 6.37	\$ 52,500.00	\$ 1,012.50	\$ 6.49
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 20,896.15	\$ 133.95	\$ -	\$ 21,290.42	\$ 136.48
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,767.88	\$ 11.33	\$ -	\$ 1,801.24	\$ 11.55
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,257.09	\$ 8.06	\$ -	\$ 1,280.81	\$ 8.21
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,695.97	\$ 23.69	\$ -	\$ 3,765.71	\$ 24.14
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 19,847.97	\$ 127.23	\$ -	\$ 20,222.46	\$ 129.63
26 05 00 Electrical Service Modernization	\$ -	\$ 1,325.00	\$ 8.49	\$ 70,000.00	\$ 1,350.00	\$ 8.65
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,173.44	\$ 13.93	\$ -	\$ 2,214.45	\$ 14.20
08 30 00 Sliding Glass Doors	\$ -	\$ 556.50	\$ 3.57	\$ -	\$ 567.00	\$ 3.63
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,031.51	\$ 6.61	\$ -	\$ 1,050.98	\$ 6.74
33 32 13 Plumbing - Lift Station	\$ -	\$ 5,597.99	\$ 35.88	\$ -	\$ 5,703.62	\$ 36.56
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,570.50	\$ 16.48	\$ -	\$ 2,619.00	\$ 16.79
26 56 16 Street Lights	\$ -	\$ 3,378.75	\$ 21.66	\$ -	\$ 3,442.50	\$ 22.07
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 496.08	\$ 3.18	\$ -	\$ 505.44	\$ 3.24
Total	\$ -	\$435,588.55	\$ 2,792.23	\$ 122,500.00	\$443,807.20	\$ 2,844.92

Year Number	17			18		
Year	2041			2042		
Starting Reserve Balance	\$1,058,820.66			\$1,510,846.52		
Ending Reserve Balance	\$1,510,846.52			\$1,971,091.03		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 107,250.00	\$ 687.50	\$ -	\$ 109,200.00	\$ 700.00
07 14 16 Waterproofing - Reseal catwalks	\$ 145,988.40	\$ 46,955.33	\$ 301.00	\$ -	\$ 47,809.07	\$ 306.47
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 33,866.53	\$ 217.09	\$ -	\$ 34,482.29	\$ 221.04
07 52 00 Built Up Modified Roofing	\$ -	\$ 23,104.95	\$ 148.11	\$ -	\$ 23,525.04	\$ 150.80
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,042.50	\$ 25.91	\$ -	\$ 4,116.00	\$ 26.38
08 30 00 Sliding Glass Doors	\$ -	\$ 794.06	\$ 5.09	\$ -	\$ 808.50	\$ 5.18
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,062.50	\$ 13.22	\$ -	\$ 2,100.00	\$ 13.46
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 43,369.37	\$ 278.01	\$ -	\$ 44,157.90	\$ 283.06
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,834.59	\$ 11.76	\$ -	\$ 1,867.95	\$ 11.97
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,609.06	\$ 16.72	\$ -	\$ 2,656.50	\$ 17.03
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 7,670.89	\$ 49.17	\$ -	\$ 7,810.36	\$ 50.07
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 623.70	\$ 4.00	\$ -	\$ 635.04	\$ 4.07
26 05 00 Electrical Service Modernization	\$ -	\$ 1,375.00	\$ 8.81	\$ -	\$ 1,400.00	\$ 8.97
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 53,625.00	\$ 343.75	\$ -	\$ 54,600.00	\$ 350.00
07 14 16 Waterproofing - Reseal catwalks	\$ 72,994.20	\$ 23,477.67	\$ 150.50	\$ -	\$ 23,904.53	\$ 153.23
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 16,933.27	\$ 108.55	\$ -	\$ 17,241.14	\$ 110.52
07 52 00 Built Up Modified Roofing	\$ -	\$ 11,552.48	\$ 74.05	\$ -	\$ 11,762.52	\$ 75.40
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,021.25	\$ 12.96	\$ -	\$ 2,058.00	\$ 13.19
08 30 00 Sliding Glass Doors	\$ -	\$ 794.06	\$ 5.09	\$ -	\$ 808.50	\$ 5.18
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,031.25	\$ 6.61	\$ -	\$ 1,050.00	\$ 6.73
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 21,684.69	\$ 139.00	\$ -	\$ 22,078.95	\$ 141.53
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,834.59	\$ 11.76	\$ -	\$ 1,867.95	\$ 11.97
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,304.53	\$ 8.36	\$ -	\$ 1,328.25	\$ 8.51
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,835.44	\$ 24.59	\$ -	\$ 3,905.18	\$ 25.03
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 20,596.95	\$ 132.03	\$ -	\$ 20,971.44	\$ 134.43
26 05 00 Electrical Service Modernization	\$ -	\$ 1,375.00	\$ 8.81	\$ -	\$ 1,400.00	\$ 8.97
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,255.46	\$ 14.46	\$ -	\$ 2,296.47	\$ 14.72
08 30 00 Sliding Glass Doors	\$ -	\$ 577.50	\$ 3.70	\$ -	\$ 588.00	\$ 3.77
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,070.44	\$ 6.86	\$ -	\$ 1,089.90	\$ 6.99
33 32 13 Plumbing - Lift Station	\$ -	\$ 5,809.24	\$ 37.24	\$ -	\$ 5,914.86	\$ 37.92
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,667.50	\$ 17.10	\$ -	\$ 2,716.00	\$ 17.41
26 56 16 Street Lights	\$ -	\$ 3,506.25	\$ 22.48	\$ -	\$ 3,570.00	\$ 22.88
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 514.80	\$ 3.30	\$ -	\$ 524.16	\$ 3.36
Total	\$ 218,982.60	\$ 452,025.86	\$ 2,897.60	\$ -	\$ 460,244.51	\$ 2,950.29

Year Number	19			20		
Year	2043			2044		
Starting Reserve Balance	\$1,412,808.96			\$1,650,764.12		
Ending Reserve Balance	\$1,881,272.12			\$2,127,445.93		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 111,150.00	\$ 712.50	\$ -	\$ 113,100.00	\$ 725.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 48,662.80	\$ 311.94	\$ 153,672.00	\$ 49,516.53	\$ 317.41
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 35,098.04	\$ 224.99	\$ -	\$ 35,713.80	\$ 228.93
07 52 00 Built Up Modified Roofing	\$ -	\$ 23,945.13	\$ 153.49	\$ -	\$ 24,365.22	\$ 156.19
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,189.50	\$ 26.86	\$ -	\$ 4,263.00	\$ 27.33
08 30 00 Sliding Glass Doors	\$ -	\$ 822.94	\$ 5.28	\$ -	\$ 837.38	\$ 5.37
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,137.50	\$ 13.70	\$ -	\$ 2,175.00	\$ 13.94
09 91 00 Painting - Exterior Masonry Surfaces	\$ 372,188.05	\$ 44,946.44	\$ 288.12	\$ -	\$ 45,734.97	\$ 293.17
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,901.31	\$ 12.19	\$ -	\$ 1,934.66	\$ 12.40
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,703.94	\$ 17.33	\$ -	\$ 2,751.38	\$ 17.64
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 7,949.83	\$ 50.96	\$ -	\$ 8,089.30	\$ 51.85
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 646.38	\$ 4.14	\$ -	\$ 657.72	\$ 4.22
26 05 00 Electrical Service Modernization	\$ -	\$ 1,425.00	\$ 9.13	\$ -	\$ 1,450.00	\$ 9.29
Building C						
03 31 11 Structural Concrete Restoration	\$ -	\$ 55,575.00	\$ 356.25	\$ -	\$ 56,550.00	\$ 362.50
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 24,331.40	\$ 155.97	\$ 76,836.00	\$ 24,758.27	\$ 158.71
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 17,549.02	\$ 112.49	\$ -	\$ 17,856.90	\$ 114.47
07 52 00 Built Up Modified Roofing	\$ -	\$ 11,972.57	\$ 76.75	\$ -	\$ 12,182.61	\$ 78.09
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,094.75	\$ 13.43	\$ -	\$ 2,131.50	\$ 13.66
08 30 00 Sliding Glass Doors	\$ -	\$ 822.94	\$ 5.28	\$ -	\$ 837.38	\$ 5.37
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,068.75	\$ 6.85	\$ -	\$ 1,087.50	\$ 6.97
09 91 00 Painting - Exterior Masonry Surfaces	\$ 186,094.02	\$ 22,473.22	\$ 144.06	\$ -	\$ 22,867.49	\$ 146.59
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,901.31	\$ 12.19	\$ -	\$ 1,934.66	\$ 12.40
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,351.97	\$ 8.67	\$ -	\$ 1,375.69	\$ 8.82
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 3,974.92	\$ 25.48	\$ -	\$ 4,044.65	\$ 25.93
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 21,345.93	\$ 136.83	\$ -	\$ 21,720.42	\$ 139.23
26 05 00 Electrical Service Modernization	\$ -	\$ 1,425.00	\$ 9.13	\$ -	\$ 1,450.00	\$ 9.29
Common Area						
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,337.48	\$ 14.98	\$ -	\$ 2,378.48	\$ 15.25
08 30 00 Sliding Glass Doors	\$ -	\$ 598.50	\$ 3.84	\$ -	\$ 609.00	\$ 3.90
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,109.36	\$ 7.11	\$ -	\$ 1,128.83	\$ 7.24
33 32 13 Plumbing - Lift Station	\$ -	\$ 6,020.48	\$ 38.59	\$ -	\$ 6,126.11	\$ 39.27
22 05 00 Fire Protection - Fire Pump	\$ -	\$ 2,764.50	\$ 17.72	\$ -	\$ 2,813.00	\$ 18.03
26 56 16 Street Lights	\$ -	\$ 3,633.75	\$ 23.29	\$ -	\$ 3,697.50	\$ 23.70
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 533.52	\$ 3.42	\$ -	\$ 542.88	\$ 3.48
Total	\$ 558,282.07	\$ 468,463.16	\$ 3,002.97	\$ 230,508.00	\$ 476,681.81	\$ 3,055.65

Year Number	21			22		
Year	2045			2046		
Starting Reserve Balance	\$1,871,191.03			\$332,541.69		
Ending Reserve Balance	\$2,356,091.49			\$825,660.81		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$115,050.00	\$ 737.50	\$ 967,200.00	\$117,000.00	\$ 750.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 50,370.27	\$ 322.89	\$ -	\$ 51,224.00	\$ 328.36
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 36,329.55	\$ 232.88	\$ -	\$ 36,945.31	\$ 236.83
07 52 00 Built Up Modified Roofing	\$ -	\$ 24,785.31	\$ 158.88	\$ 520,911.60	\$ 25,205.40	\$ 161.57
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,336.50	\$ 27.80	\$ -	\$ 4,410.00	\$ 28.27
08 30 00 Sliding Glass Doors	\$ -	\$ 851.81	\$ 5.46	\$ -	\$ 866.25	\$ 5.55
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,212.50	\$ 14.18	\$ -	\$ 2,250.00	\$ 14.42
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 46,523.51	\$ 298.23	\$ -	\$ 47,312.04	\$ 303.28
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,968.02	\$ 12.62	\$ 16,544.70	\$ 2,001.38	\$ 12.83
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,798.81	\$ 17.94	\$ 23,529.00	\$ 2,846.25	\$ 18.25
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 8,228.77	\$ 52.75	\$ -	\$ 8,368.24	\$ 53.64
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 669.06	\$ 4.29	\$ -	\$ 680.40	\$ 4.36
26 05 00 Electrical Service Modernization	\$ -	\$ 1,475.00	\$ 9.46	\$ -	\$ 1,500.00	\$ 9.62
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 57,525.00	\$ 368.75	\$ 483,600.00	\$ 58,500.00	\$ 375.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 25,185.13	\$ 161.44	\$ -	\$ 25,612.00	\$ 164.18
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 18,164.78	\$ 116.44	\$ -	\$ 18,472.66	\$ 118.41
07 52 00 Built Up Modified Roofing	\$ 256,254.90	\$ 12,392.66	\$ 79.44	\$ -	\$ 12,602.70	\$ 80.79
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,168.25	\$ 13.90	\$ -	\$ 2,205.00	\$ 14.13
08 30 00 Sliding Glass Doors	\$ -	\$ 851.81	\$ 5.46	\$ -	\$ 866.25	\$ 5.55
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,106.25	\$ 7.09	\$ -	\$ 1,125.00	\$ 7.21
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 23,261.75	\$ 149.11	\$ -	\$ 23,656.02	\$ 151.64
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 1,968.02	\$ 12.62	\$ -	\$ 2,001.38	\$ 12.83
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,399.41	\$ 8.97	\$ 11,764.50	\$ 1,423.13	\$ 9.12
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 4,114.39	\$ 26.37	\$ -	\$ 4,184.12	\$ 26.82
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 22,094.91	\$ 141.63	\$ -	\$ 22,469.40	\$ 144.03
26 05 00 Electrical Service Modernization	\$ -	\$ 1,475.00	\$ 9.46	\$ -	\$ 1,500.00	\$ 9.62
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,419.49	\$ 15.51	\$ -	\$ 2,460.50	\$ 15.77
08 30 00 Sliding Glass Doors	\$ -	\$ 619.50	\$ 3.97	\$ -	\$ 630.00	\$ 4.04
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,148.29	\$ 7.36	\$ -	\$ 1,167.75	\$ 7.49
33 32 13 Plumbing - Lift Station	\$ -	\$ 6,231.73	\$ 39.95	\$ -	\$ 6,337.35	\$ 40.62
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,861.50	\$ 18.34	\$ -	\$ 2,910.00	\$ 18.65
26 56 16 Street Lights	\$ -	\$ 3,761.25	\$ 24.11	\$ -	\$ 3,825.00	\$ 24.52
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 552.24	\$ 3.54	\$ -	\$ 561.60	\$ 3.60
Total	\$ 256,254.90	\$ 484,900.46	\$ 3,108.34	\$ 2,023,549.80	\$ 493,119.12	\$ 3,161.02

Year Number	23			24		
Year	2047			2048		
Starting Reserve Balance	-\$114,638.95			\$386,698.81		
Ending Reserve Balance	\$386,698.81			\$896,255.23		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 118,950.00	\$ 762.50	\$ -	\$ 120,900.00	\$ 775.00
07 14 16 Waterproofing - Reseal catwalks	\$ 161,355.60	\$ 52,077.73	\$ 333.83	\$ -	\$ 52,931.47	\$ 339.30
07 14 16 Waterproofing - Resurface catwalks	\$ 465,510.91	\$ 37,561.07	\$ 240.78	\$ -	\$ 38,176.82	\$ 244.72
07 52 00 Built Up Modified Roofing	\$ -	\$ 25,625.49	\$ 164.27	\$ -	\$ 26,045.58	\$ 166.96
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,483.50	\$ 28.74	\$ -	\$ 4,557.00	\$ 29.21
08 30 00 Sliding Glass Doors	\$ -	\$ 880.69	\$ 5.65	\$ -	\$ 895.13	\$ 5.74
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,287.50	\$ 14.66	\$ -	\$ 2,325.00	\$ 14.90
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 48,100.57	\$ 308.34	\$ -	\$ 48,889.11	\$ 313.39
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,034.73	\$ 13.04	\$ -	\$ 2,068.09	\$ 13.26
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,893.69	\$ 18.55	\$ -	\$ 2,941.13	\$ 18.85
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 8,507.71	\$ 54.54	\$ -	\$ 8,647.18	\$ 55.43
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 691.74	\$ 4.43	\$ -	\$ 703.08	\$ 4.51
26 05 00 Electrical Service Modernization	\$ -	\$ 1,525.00	\$ 9.78	\$ -	\$ 1,550.00	\$ 9.94
Building C						
03 31 11 Structural Concrete Restoration	\$ -	\$ 59,475.00	\$ 381.25	\$ -	\$ 60,450.00	\$ 387.50
07 14 16 Waterproofing - Reseal catwalks	\$ 80,677.80	\$ 26,038.87	\$ 166.92	\$ -	\$ 26,465.73	\$ 169.65
07 14 16 Waterproofing - Resurface catwalks	\$ 232,755.45	\$ 18,780.53	\$ 120.39	\$ -	\$ 19,088.41	\$ 122.36
07 52 00 Built Up Modified Roofing	\$ -	\$ 12,812.75	\$ 82.13	\$ -	\$ 13,022.79	\$ 83.48
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,241.75	\$ 14.37	\$ -	\$ 2,278.50	\$ 14.61
08 30 00 Sliding Glass Doors	\$ -	\$ 880.69	\$ 5.65	\$ -	\$ 895.13	\$ 5.74
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,143.75	\$ 7.33	\$ -	\$ 1,162.50	\$ 7.45
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 24,050.29	\$ 154.17	\$ -	\$ 24,444.55	\$ 156.70
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,034.73	\$ 13.04	\$ -	\$ 2,068.09	\$ 13.26
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,446.84	\$ 9.27	\$ -	\$ 1,470.56	\$ 9.43
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 4,253.86	\$ 27.27	\$ -	\$ 4,323.59	\$ 27.72
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 22,843.89	\$ 146.44	\$ -	\$ 23,218.38	\$ 148.84
26 05 00 Electrical Service Modernization	\$ -	\$ 1,525.00	\$ 9.78	\$ -	\$ 1,550.00	\$ 9.94
Common Area						
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,501.51	\$ 16.04	\$ -	\$ 2,542.52	\$ 16.30
08 30 00 Sliding Glass Doors	\$ -	\$ 640.50	\$ 4.11	\$ -	\$ 651.00	\$ 4.17
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,187.21	\$ 7.61	\$ -	\$ 1,206.68	\$ 7.74
33 32 13 Plumbing - Lift Station	\$ -	\$ 6,442.97	\$ 41.30	\$ -	\$ 6,548.60	\$ 41.98
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 2,958.50	\$ 18.96	\$ -	\$ 3,007.00	\$ 19.28
26 56 16 Street Lights	\$ -	\$ 3,888.75	\$ 24.93	\$ -	\$ 3,952.50	\$ 25.34
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 570.96	\$ 3.66	\$ -	\$ 580.32	\$ 3.72
Total	\$ 940,299.76	\$ 501,337.77	\$ 3,213.70	\$ -	\$ 509,556.42	\$ 3,266.39

Year Number	25			26		
Year	2049			2050		
Starting Reserve Balance	\$896,255.23			\$1,160,471.50		
Ending Reserve Balance	\$1,414,030.30			\$1,686,465.23		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$ 122,850.00	\$ 787.50	\$ -	\$ 124,800.00	\$ 800.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 53,785.20	\$ 344.78	\$ 169,039.20	\$ 54,638.93	\$ 350.25
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 38,792.58	\$ 248.67	\$ -	\$ 39,408.33	\$ 252.62
07 52 00 Built Up Modified Roofing	\$ -	\$ 26,465.67	\$ 169.65	\$ -	\$ 26,885.76	\$ 172.34
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,630.50	\$ 29.68	\$ -	\$ 4,704.00	\$ 30.15
08 30 00 Sliding Glass Doors	\$ -	\$ 909.56	\$ 5.83	\$ -	\$ 924.00	\$ 5.92
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,362.50	\$ 15.14	\$ -	\$ 2,400.00	\$ 15.38
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 49,677.64	\$ 318.45	\$ -	\$ 50,466.18	\$ 323.50
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,101.44	\$ 13.47	\$ -	\$ 2,134.80	\$ 13.68
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 2,988.56	\$ 19.16	\$ -	\$ 3,036.00	\$ 19.46
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 8,786.66	\$ 56.32	\$ -	\$ 8,926.13	\$ 57.22
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 714.42	\$ 4.58	\$ -	\$ 725.76	\$ 4.65
26 05 00 Electrical Service Modernization	\$ -	\$ 1,575.00	\$ 10.10	\$ -	\$ 1,600.00	\$ 10.26
Building C						
03 31 11 Structural Concrete Restoration	\$ -	\$ 61,425.00	\$ 393.75	\$ -	\$ 62,400.00	\$ 400.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 26,892.60	\$ 172.39	\$ 84,519.60	\$ 27,319.47	\$ 175.12
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 19,396.29	\$ 124.34	\$ -	\$ 19,704.17	\$ 126.31
07 52 00 Built Up Modified Roofing	\$ -	\$ 13,232.84	\$ 84.83	\$ -	\$ 13,442.88	\$ 86.17
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,315.25	\$ 14.84	\$ -	\$ 2,352.00	\$ 15.08
08 30 00 Sliding Glass Doors	\$ -	\$ 909.56	\$ 5.83	\$ -	\$ 924.00	\$ 5.92
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,181.25	\$ 7.57	\$ -	\$ 1,200.00	\$ 7.69
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 24,838.82	\$ 159.22	\$ -	\$ 25,233.09	\$ 161.75
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,101.44	\$ 13.47	\$ -	\$ 2,134.80	\$ 13.68
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,494.28	\$ 9.58	\$ -	\$ 1,518.00	\$ 9.73
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 4,393.33	\$ 28.16	\$ -	\$ 4,463.06	\$ 28.61
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 23,592.87	\$ 151.24	\$ -	\$ 23,967.36	\$ 153.64
26 05 00 Electrical Service Modernization	\$ -	\$ 1,575.00	\$ 10.10	\$ -	\$ 1,600.00	\$ 10.26
Common Area						
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,583.53	\$ 16.56	\$ -	\$ 2,624.53	\$ 16.82
08 30 00 Sliding Glass Doors	\$ -	\$ 661.50	\$ 4.24	\$ -	\$ 672.00	\$ 4.31
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,226.14	\$ 7.86	\$ -	\$ 1,245.60	\$ 7.98
33 32 13 Plumbing - Lift Station	\$ -	\$ 6,654.22	\$ 42.66	\$ -	\$ 6,759.84	\$ 43.33
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 3,055.50	\$ 19.59	\$ -	\$ 3,104.00	\$ 19.90
26 56 16 Street Lights	\$ -	\$ 4,016.25	\$ 25.75	\$ -	\$ 4,080.00	\$ 26.15
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 589.68	\$ 3.78	\$ -	\$ 599.04	\$ 3.84
Total	\$ -	\$ 517,775.07	\$ 3,319.07	\$ 253,558.80	\$ 525,993.72	\$ 3,371.75

Year Number	27			28		
Year	2051			2052		
Starting Reserve Balance	\$1,052,483.89			\$1,460,032.17		
Ending Reserve Balance	\$1,586,696.27			\$2,002,463.20		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$126,750.00	\$ 812.50	\$ -	\$128,700.00	\$ 825.00
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 55,492.67	\$ 355.72	\$ -	\$ 56,346.40	\$ 361.19
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 40,024.09	\$ 256.56	\$ -	\$ 40,639.84	\$ 260.51
07 52 00 Built Up Modified Roofing	\$ -	\$ 27,305.85	\$ 175.04	\$ -	\$ 27,725.94	\$ 177.73
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,777.50	\$ 30.63	\$ -	\$ 4,851.00	\$ 31.10
08 30 00 Sliding Glass Doors	\$ -	\$ 938.44	\$ 6.02	\$ -	\$ 952.88	\$ 6.11
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,437.50	\$ 15.63	\$ -	\$ 2,475.00	\$ 15.87
09 91 00 Painting - Exterior Masonry Surfaces	\$ 422,654.22	\$ 51,254.71	\$ 328.56	\$ -	\$ 52,043.24	\$ 333.61
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,168.16	\$ 13.90	\$ -	\$ 2,201.51	\$ 14.11
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 3,083.44	\$ 19.77	\$ -	\$ 3,130.88	\$ 20.07
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 9,065.60	\$ 58.11	\$ 94,840.09	\$ 9,205.07	\$ 59.01
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 737.10	\$ 4.73	\$ -	\$ 748.44	\$ 4.80
26 05 00 Electrical Service Modernization	\$ -	\$ 1,625.00	\$ 10.42	\$ -	\$ 1,650.00	\$ 10.58
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 63,375.00	\$ 406.25	\$ -	\$ 64,350.00	\$ 412.50
07 14 16 Waterproofing - Reseal catwalks	\$ -	\$ 27,746.33	\$ 177.86	\$ -	\$ 28,173.20	\$ 180.60
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 20,012.04	\$ 128.28	\$ -	\$ 20,319.92	\$ 130.26
07 52 00 Built Up Modified Roofing	\$ -	\$ 13,652.93	\$ 87.52	\$ -	\$ 13,862.97	\$ 88.87
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,388.75	\$ 15.31	\$ -	\$ 2,425.50	\$ 15.55
08 30 00 Sliding Glass Doors	\$ -	\$ 938.44	\$ 6.02	\$ -	\$ 952.88	\$ 6.11
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,218.75	\$ 7.81	\$ -	\$ 1,237.50	\$ 7.93
09 91 00 Painting - Exterior Masonry Surfaces	\$ 211,327.11	\$ 25,627.36	\$ 164.28	\$ -	\$ 26,021.62	\$ 166.81
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,168.16	\$ 13.90	\$ -	\$ 2,201.51	\$ 14.11
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,541.72	\$ 9.88	\$ -	\$ 1,565.44	\$ 10.03
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 4,532.80	\$ 29.06	\$ -	\$ 4,602.53	\$ 29.50
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 24,341.85	\$ 156.04	\$ -	\$ 24,716.34	\$ 158.44
26 05 00 Electrical Service Modernization	\$ -	\$ 1,625.00	\$ 10.42	\$ -	\$ 1,650.00	\$ 10.58
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,665.54	\$ 17.09	\$ -	\$ 2,706.55	\$ 17.35
08 30 00 Sliding Glass Doors	\$ -	\$ 682.50	\$ 4.38	\$ -	\$ 693.00	\$ 4.44
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,265.06	\$ 8.11	\$ -	\$ 1,284.53	\$ 8.23
33 32 13 Plumbing - Lift Station	\$ -	\$ 6,865.46	\$ 44.01	\$ -	\$ 6,971.09	\$ 44.69
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 3,152.50	\$ 20.21	\$ -	\$ 3,201.00	\$ 20.52
26 56 16 Street Lights	\$ -	\$ 4,143.75	\$ 26.56	\$ -	\$ 4,207.50	\$ 26.97
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 608.40	\$ 3.90	\$ 31,824.00	\$ 617.76	\$ 3.96
Total	\$ 633,981.34	\$ 534,212.37	\$ 3,424.44	\$ 126,664.09	\$ 542,431.03	\$ 3,477.12

Year Number	29			30		
Year	2053			2054		
Starting Reserve Balance	\$1,737,379.00			\$591,501.68		
Ending Reserve Balance	\$2,288,028.68			\$1,150,370.01		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
03 31 11 Structural Concrete Restoration	\$ -	\$130,650.00	\$ 837.50	\$ 1,092,000.00	\$132,600.00	\$ 850.00
07 14 16 Waterproofing - Reseal catwalks	\$176,722.80	\$ 57,200.13	\$ 366.67	\$ -	\$ 58,053.87	\$ 372.14
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 41,255.60	\$ 264.46	\$ -	\$ 41,871.35	\$ 268.41
07 52 00 Built Up Modified Roofing	\$ -	\$ 28,146.03	\$ 180.42	\$ -	\$ 28,566.12	\$ 183.12
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 4,924.50	\$ 31.57	\$ -	\$ 4,998.00	\$ 32.04
08 30 00 Sliding Glass Doors	\$ -	\$ 967.31	\$ 6.20	\$ -	\$ 981.75	\$ 6.29
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 2,512.50	\$ 16.11	\$ -	\$ 2,550.00	\$ 16.35
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 52,831.78	\$ 338.67	\$ -	\$ 53,620.31	\$ 343.72
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,234.87	\$ 14.33	\$ 18,679.50	\$ 2,268.23	\$ 14.54
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 3,178.31	\$ 20.37	\$ 26,565.00	\$ 3,225.75	\$ 20.68
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 9,344.54	\$ 59.90	\$ -	\$ 9,484.01	\$ 60.79
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 759.78	\$ 4.87	\$ -	\$ 771.12	\$ 4.94
26 05 00 Electrical Service Modernization	\$ -	\$ 1,675.00	\$ 10.74	\$ -	\$ 1,700.00	\$ 10.90
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
03 31 11 Structural Concrete Restoration	\$ -	\$ 65,325.00	\$ 418.75	\$ 546,000.00	\$ 66,300.00	\$ 425.00
07 14 16 Waterproofing - Reseal catwalks	\$ 88,361.40	\$ 28,600.07	\$ 183.33	\$ -	\$ 29,026.93	\$ 186.07
07 14 16 Waterproofing - Resurface catwalks	\$ -	\$ 20,627.80	\$ 132.23	\$ -	\$ 20,935.68	\$ 134.20
07 52 00 Built Up Modified Roofing	\$ -	\$ 14,073.02	\$ 90.21	\$ -	\$ 14,283.06	\$ 91.56
08 11 13 Exterior Utility Doors - Solid Core Masonite	\$ -	\$ 2,462.25	\$ 15.78	\$ -	\$ 2,499.00	\$ 16.02
08 30 00 Sliding Glass Doors	\$ -	\$ 967.31	\$ 6.20	\$ -	\$ 981.75	\$ 6.29
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,256.25	\$ 8.05	\$ -	\$ 1,275.00	\$ 8.17
09 91 00 Painting - Exterior Masonry Surfaces	\$ -	\$ 26,415.89	\$ 169.33	\$ -	\$ 26,810.16	\$ 171.86
09 91 00 Painting - Exterior Concrete Railings - Catwalks	\$ -	\$ 2,234.87	\$ 14.33	\$ -	\$ 2,268.23	\$ 14.54
09 90 00 Painting Exterior Aluminum Balcony Railings	\$ -	\$ 1,589.16	\$ 10.19	\$ 13,282.50	\$ 1,612.88	\$ 10.34
21 05 00 Fire Protection - Fire alarm - Modernize	\$ -	\$ 4,672.27	\$ 29.95	\$ -	\$ 4,742.00	\$ 30.40
22 05 00 Fire Protection - Fire Sprinkler - Replacement	\$ -	\$ 25,090.83	\$ 160.84	\$ -	\$ 25,465.32	\$ 163.24
26 05 00 Electrical Service Modernization	\$ -	\$ 1,675.00	\$ 10.74	\$ -	\$ 1,700.00	\$ 10.90
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Wood Shake Roof - Pool House/Guard House	\$ -	\$ 2,747.56	\$ 17.61	\$ -	\$ 2,788.57	\$ 17.88
08 30 00 Sliding Glass Doors	\$ -	\$ 703.50	\$ 4.51	\$ -	\$ 714.00	\$ 4.58
08 56 19 Storefronts with Sidelights and Transoms	\$ -	\$ 1,303.99	\$ 8.36	\$ -	\$ 1,323.45	\$ 8.48
33 32 13 Plumbing - Lift Station	\$ -	\$ 7,076.71	\$ 45.36	\$ -	\$ 7,182.33	\$ 46.04
22 05 00 Fire Protection- Fire Pump	\$ -	\$ 3,249.50	\$ 20.83	\$ -	\$ 3,298.00	\$ 21.14
26 56 16 Street Lights	\$ -	\$ 4,271.25	\$ 27.38	\$ -	\$ 4,335.00	\$ 27.79
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 627.12	\$ 4.02	\$ -	\$ 636.48	\$ 4.08
Total	\$265,084.20	\$550,649.68	\$ 3,529.81	\$ 1,696,527.00	\$558,868.33	\$ 3,582.49

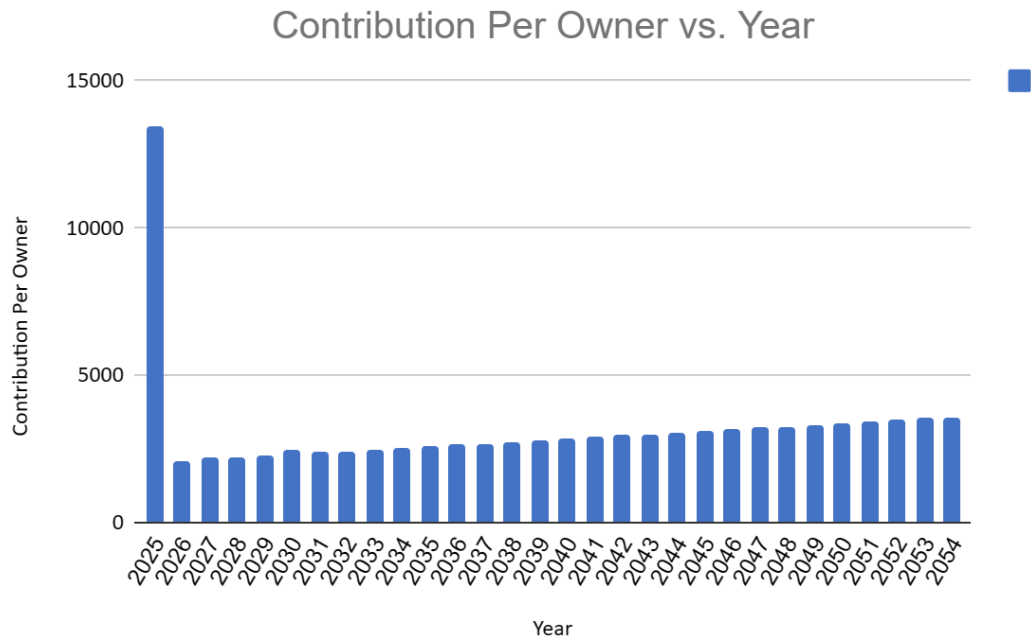


Fig. 1. Contribution Per Owner

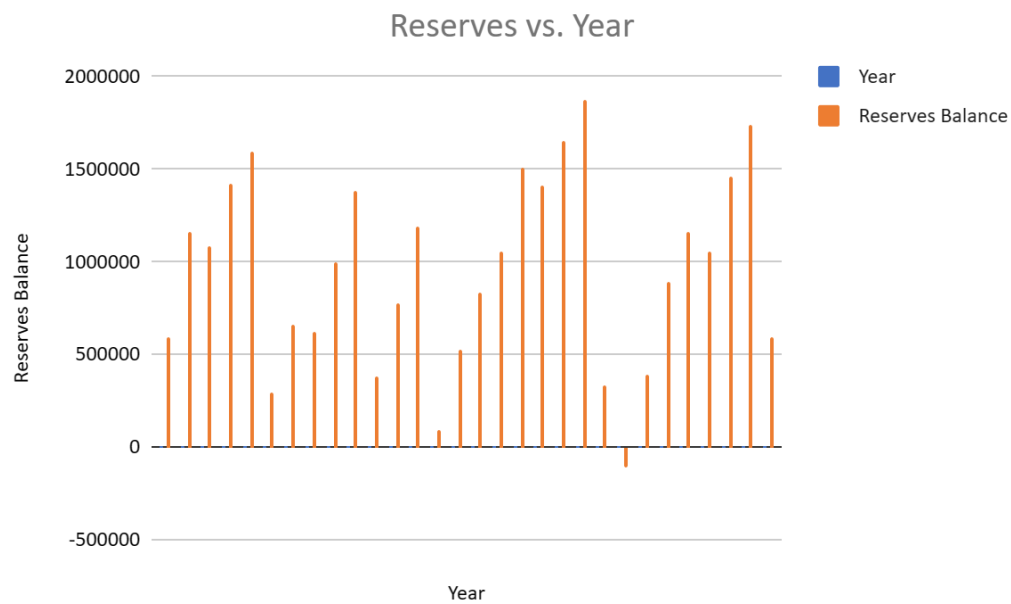


Fig. 2. Amount of Reserves Required per Year

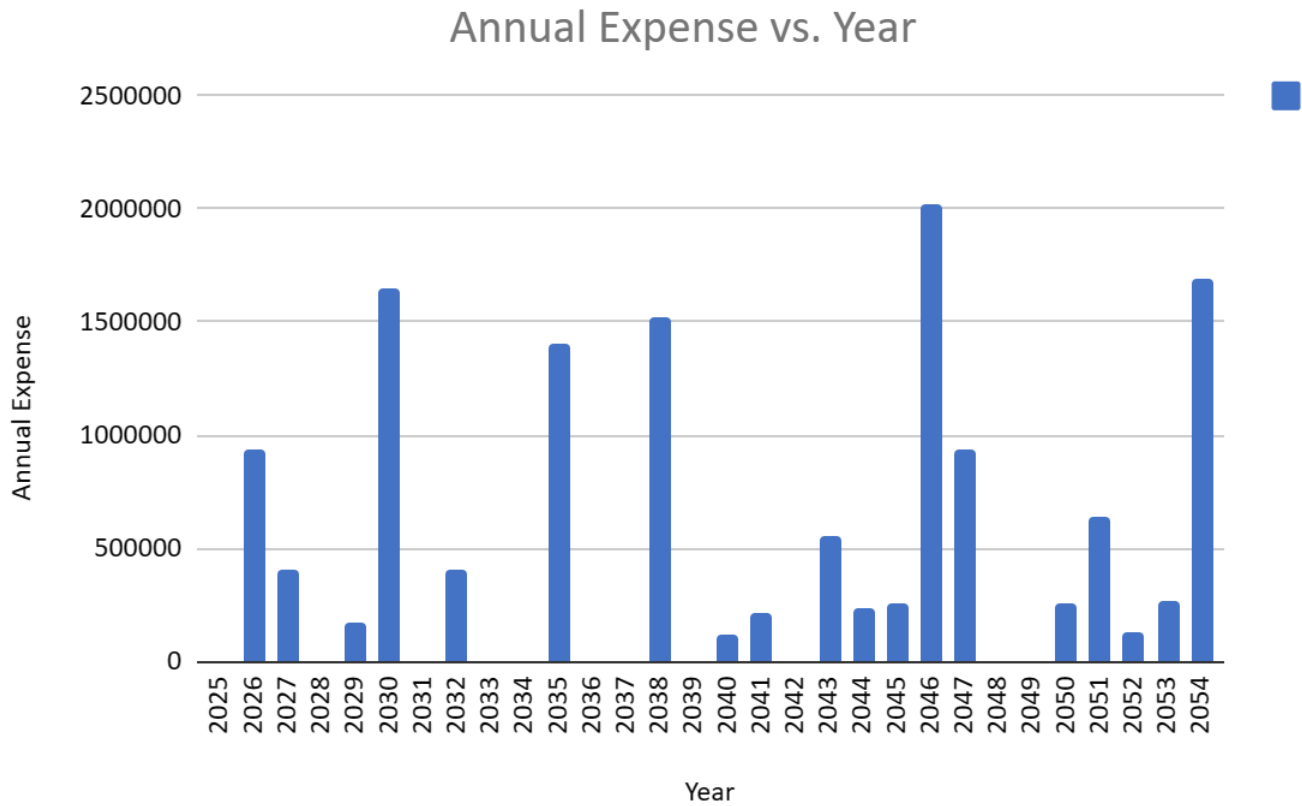


Fig. 3. Expenses Required per Year

Photos

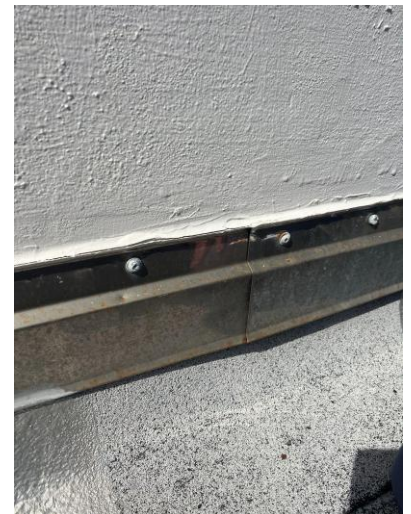


Roofs: Roofs are important for a condominium because they protect the building and its residents from the weather, such as rain, snow, wind, and sunlight. Roofs also provide insulation and ventilation, which help regulate the temperature and air quality inside the condominium. Roofs can also enhance the aesthetic appeal and value of the condominium, depending on the design, material, and color. Therefore, roofs are essential components of a condominium that require proper maintenance and repair.

Bryn Mawr Ocean Towers has a hot mop/modified bitumen/built-up roofing on top of a concrete deck. There is aluminum on the laps, flashing details, and pitch pans. Due to the aluminum cracking around the pitch pans (at the silver squares where A/C stands are at in the first photo), this allows water to get behind the roof barrier. Additionally, there is water behind the flashing ply. PSI Roofing recommends resealing the counter flashing and caulking it (this is the metal trim in the second photo). This will help prevent water going behind the top layer and penetrating deeper past the roofing layer. There is also aluminum cracking on the laps, however this is normal and should not be a problem.

There are some blisters on this roof that should be addressed and repaired i.e. cut out and flashing plys redone up to termination bar. There is also some paint and waterproofing chipping away on the parapet walls. This can be remedied by pressure washing, using a primer loxon conditioner, and then using conflex HD. Building B had some noticeable granular loss, rendering the UV protection almost nonexistent in some areas. This can be denoted by the dark areas of the roof in contrast to the gray areas that do have the granules. This roof's life expectancy can be extended by 15-20 years by recovering it with additional membrane layers such as Fleece Back PVC, if it passes a moisture survey. The process to reroof would include, removing the counter flashing, and flashing, and installing the new roof right over the existing roof, and then reinstalling the flashing and counter flashing. The dry pins that hold up counter flashing are in good condition.

Additional roofing in this condominium would include, wood shake roofing on the guard building and pool houses. Wood shake roofing is a type of roofing material that consists of hand-split wooden shingles, usually made from cedar or other rot-resistant wood. Wood shake roofing has a rustic and natural appearance. This type of roofing is known to last 30-50 years. All wood shingles seem to be in good condition.



Exterior painting: The building's exterior paint and waterproofing seemed to be in good condition. There was no chipping or peeling on the exterior of the building or walkways. There are supposed to be a certain amount of mils to provide the correct thickness of paint. Here in the pictures, we can see the catwalk thickness of 5.1 thou/mils and the building exterior painting thickness of around 3 thou/mils.

A component of painting that was viewed during the Bryn Mawr Ocean Tower inspection was around the parapet wall. The steps that were recommended by PSI Roofing included: pressure washing the paint first to get all old paint off, priming it with loxon conditioner, and following with conflex HD.

Here are some general requirements for painting a building:

1. Certification: Anyone who is paid to perform work that disturbs paint in housing and child-occupied facilities built before 1978 must be certified.
2. License: To qualify for a painting license, you must have four full years of experience in the last ten years in the area you're applying. Your experience must be at a journey-level or worked as a supervisor, foreman or contractor. You must also pass the written Law and Business examination and a trade exam.
3. Safety Measures: Use of non-sparking paint buckets, spray guns and tools. Insulation of metal parts of paint brushes and rollers. Staging erected in a manner which ensures that it is non-sparking.
4. Technical Knowledge: Ability to read drawings etc. Ability in using tools (e.g. clamps, chisels, tape measures) and machines (e.g. Paint Booth, Paint Gun, cleaners). Good understanding of quality control principles⁴.
5. Preparation: Start with a perfect canvas by patching holes and sanding texture.
6. Protection: A little taping and surface covering now can save a lot of clean up time and makes for a crisper finish.
7. Application: Using the right tools can make or break a paint job. Be sure to choose the proper brushes and rollers for the surface you're working with.
8. Paint Selection: But before you pick up a brush, choose your colors, measure your space and use the paint calculator to figure out how much you'll need.

Remember, safety is paramount when painting a building. Always ensure that all potential hazards are controlled so workers can complete their tasks safely.



Waterproofing: The waterproofing at Bryn Mawr Ocean Towers was recently done 8-9 months ago. The thickness was checked with the PosiTector to confirm the throu/mills and it was found to be 40-50, which is a perfect thickness. There was not much visual evidence of waterproofing chipping or deterioration. Meaning all catwalks had nearly perfect waterproofing coverage, and should not require premature attention.

Waterproofing is a critical aspect of building construction. It involves applying a physical barrier or waterproof membrane to prevent moisture penetration. The Florida Residential Building Code, R406, specifies the conditions that require either dampproofing or waterproofing. Any concrete or masonry foundation walls “that retain earth and enclose interior spaces and floors below grade shall be dampproofed from the top of the footing to the finished grade.”. While this code refers mostly to the foundation, it is structural and relevant to waterproofing.

Waterproofing is important for several reasons:

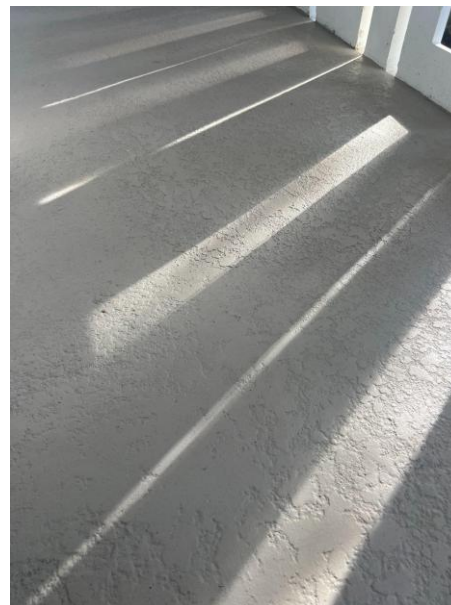
1. Keeps the Building Dry: It helps keep a building dry, reducing internal humidity and making the building more comfortable to work in.
2. Protects Interior Objects: It protects objects inside the building from damage as a result of humidity and water vapor.
3. Preserves Building Integrity: Waterproofing is also important to the integrity of the building itself.
4. Prevents Health Hazards: If you don’t waterproof, it could actually be a health hazard, for example, it could create mold.
5. Prevents Deterioration of Building Elements: The aim is to prevent water penetration that could cause unhealthy and dangerous conditions or loss of amenity for occupants; or dampness and deterioration of building elements.

The utilization of liquid waterproofing membrane, cementitious materials, polyurethane liquid membrane, and bituminous material are common in the waterproofing of buildings. Waterproofing is necessary for the basement, walls, bathrooms, kitchen, balconies, decks, terrace or roofs, green roofs, water tanks, and swimming pools, etc.

According to a report on distress in building structures, 80% of damages ultimately relate to waterproofing issues. Investing in high-quality waterproofing not only protects construction elements against water ingress but also ensures resource efficiency, low maintenance costs, and high return on investment in the long run. Therefore, getting the waterproofing right is a critical step in any new build or home renovation project.



report #2023.1002



Exterior Doors: Hollow metal doors are most commonly found when entering meter rooms, stairwells, and roof access. These are known to rust overtime but will generally hold up for a prolonged period. The glass doors at each elevator lobby will require maintenance but will not be as likely to rust. With the glass doors, we must pay attention to the fasteners holding the frame down and the caulking around the border of the frame. However, hollow metal doors do not need caulking or sealant. In total there are 1 single hung pass through window, 1 single hung horizontal slider window, 1 picture window, 2 triple pane sliding glass door, and 1 aluminum louver door in the pool area. While, each building has 16 solid core masonite doors. 40 solid core wood doors. 1 sliding glass double door .

Exterior doors on an apartment complex are an important aspect of the building's design and security. Here are some considerations:

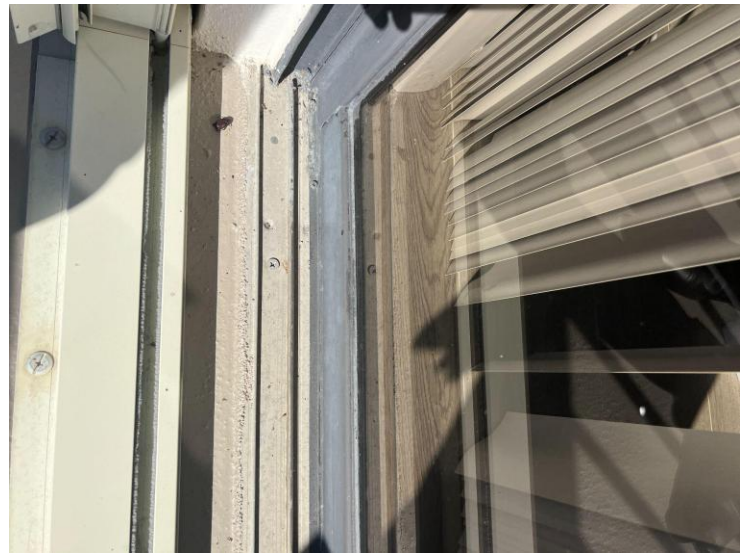
1. Material: Doors can be made of metal or wood, with or without windows.
2. Security: The front door should be thick and strong, close fully and securely, and lack space in the doorjamb which would allow someone to pry it open. It should also have a usable peephole with a fisheye lens.
3. Locks: Door locks, chains, and deadbolts are essential for security.
4. Lighting: Adequate lighting near the doors can enhance security.
5. Controlled entrances: This could include a gated community or a security guard.

Remember, the choice of exterior doors can significantly impact the safety and aesthetic appeal of an apartment complex. It's important to choose doors that are durable, secure, and blend well with the overall design of the building.



Windows: Windows are the respective unit owners responsibility, but there are also exterior common area windows that should be accounted for in the Reserve Study. Most of these windows are curtain windows or storefront windows. Referring to the Game Room, the window door front is 11'-10" x 8', other windows are 15' 15/16"x 9'-8". The fasteners on said windows are in good condition and not rusty. The caulking is also in fair condition, meaning there will be no water entering the building through an exterior opening.

Most unit windows are single hung vertical sliders. Single-hung vertical sliders, also known as single-hung windows, are a type of window that features a stationary upper panel and a movable lower sash. The lower sash glides upward for ventilation. Some single-hung windows also come with a lower sash that tilts so you can clean the outside of the window from indoors. The primary advantage of this window design is that it can be significantly less expensive than double-hung windows or other designs. They are a simple, well-designed choice for any home.



Building Structural Components: The basic components of a building structure include the foundation, floors, walls, beams, columns, roof, and stairs. These elements serve the purpose of supporting, enclosing, and protecting the building structure. Structural members can be classified as beams, columns and tension structures, frames, and trusses. In legal documents, structural components may refer to specific parts of a building, such as foundations, footings, joists, bearing walls, subfloor, roof, and structural columns and beams.

There was no noticeable bulging, settlement, or deflection, expansion, contraction with the Bryn Mawr Ocean Towers. There were fine cracks up to 1mm showing on every floor by the supporting beams between floors. Overall there will be no need for repairs soon, only later when it has reached its useful life. The masonry bearing wall is made of CMU block with reinforced concrete tie columns. As far as spalling is concerned, this is only in minor places and would only require patch work and not a full restoration scope. Balconies and roof slabs seem to be in good condition and do not show extreme signs of aging or deterioration. Most of the imperfections seen would fall under cracks, thus the building is fine in accordance with law. These towers do not have a steel or wood framing system, but instead rely solely on CMU block construction. There was no noticeable rebar deterioration present at Bryn Mawr Ocean Towers.

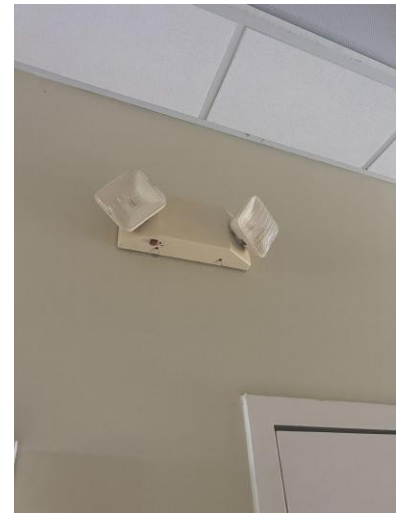


Fire protection systems: With this building specifically, there was a new fire pump controller 2020. It also had its 30,000 gal water reserve tank cleaned with a diver recently making the fire tank current. Many of the exit lights were tested and were all operational. The fire extinguishers in these buildings were inspected in Aug. of 2023 and have 6 months to a year until the next inspection, meaning these should be in working order.

Fire protection systems are systems that are designed to prevent, detect, control, and extinguish fires in buildings. Fire protection systems can include:

- **Fire alarm systems:** These are systems that use sensors, such as smoke detectors, heat detectors, and manual pull stations, to detect signs of fire and alert the occupants and the fire department. Fire alarm systems can also activate other fire protection systems, such as sprinklers, fire doors, and emergency lighting.
- **Sprinkler systems:** These are systems that use water pipes and sprinkler heads to deliver water to the fire area and suppress the flames. Sprinkler systems can be wet, dry, pre-action, or deluge, depending on the type of water supply and activation mechanism.
- **Fire extinguishers:** These are portable devices that contain a pressurized agent, such as water, foam, carbon dioxide, or dry chemical, that can be discharged to put out small fires. Fire extinguishers are classified by the types of fires they can extinguish, such as A (ordinary combustibles), B (flammable liquids), C (electrical equipment), D (combustible metals), or K (cooking oils).
- **Fire doors:** These are doors that are designed to resist the spread of fire and smoke between different compartments of a building. Fire doors can be self-closing or held open by magnetic devices that release when the fire alarm is activated. Fire doors have a fire rating that indicates how long they can withstand fire exposure, such as 20 minutes, 45 minutes, 90 minutes, or 3 hours.
- **Emergency lighting:** These are lighting fixtures that provide illumination in case of a power outage or a fire. Emergency lighting can include exit signs, egress lighting, and standby lighting. Emergency lighting is powered by batteries or generators that are activated when the normal power supply fails.

Fire protection systems are essential for the safety of the occupants and the property in case of a fire. They can help prevent the ignition and spread of fire, alert the occupants and the fire department, facilitate evacuation and rescue operations, and minimize property damage and loss. Therefore, fire protection systems should be properly designed, installed, maintained, and inspected according to the local codes and standards.



Fire Alarm System: Exit lights and emergency lighting were tested for functionality and passed. There were smoke alarms, sprinklers, and sirens in the buildings for fire safety. The building's common area had sprinklers while the units did not. Similarly, the electrical room does not have a sprinkler so that it does not damage the property when an emergency occurs. Ground fault circuit interrupters were tested in each unit's bathroom and kitchen with most having the correct wiring needed.

Fire alarm systems in condominiums are crucial for the safety of the residents. The requirements for these systems can vary depending on factors such as the building's height and the number of dwelling units.

For buildings with four or more dwelling units, including residential condominiums, the owner is required to post a written notice in the common spaces of the building and distribute it to each tenant or unit owner.

Low-rise buildings with more than 11 dwellings are required to have a centralized fire alarm system with battery backup, manual pull stations, horns/strobes at exit points, smoke and heat detection, and other requirements specific to each occupied unit and common areas.

High-rise condominiums of 6 stories or more are required to have either an engineered life safety system or a fire alarm system by January 1st, 2024.

Maintaining these systems is also essential. Fire alarm systems must be inspected, tested, and maintained annually to ensure their reliability. This includes all manual pull stations, speakers, (strobes and horns), smoke and heat detectors, duct detectors, elevator recall, annunciator panels, the main fire alarm panel and any communications panels and battery backup supply panels.

The best place to live would be in a complex equipped with a residential sprinkler system and monitored alarm system. This ensures maximum safety for the residents in case of a fire.

It's important to note that fire safety codes for apartments may be different today than what they were during the original building construction. Therefore, it's always a good idea to check the current regulations in your area.



Plumbing:

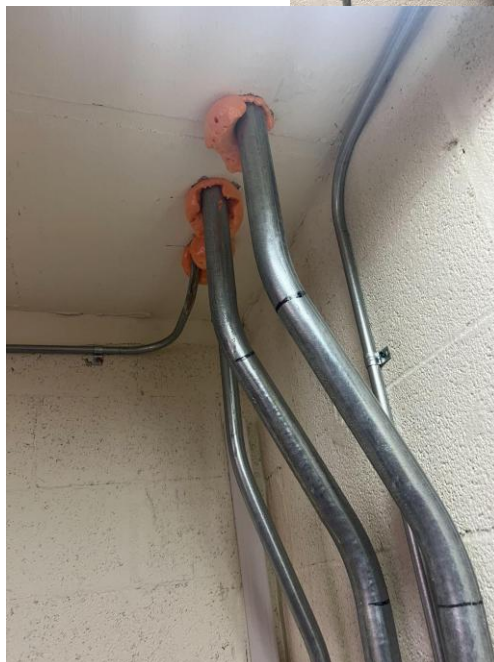
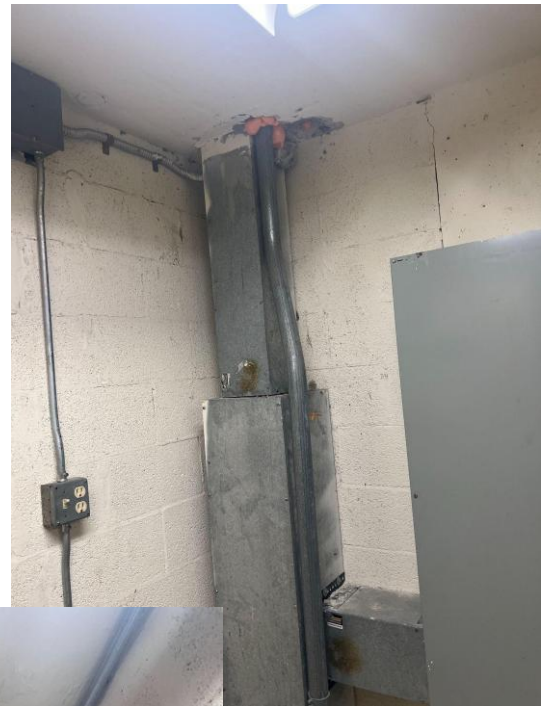
Plumbing is one of the most important aspects of any apartment complex. It ensures the proper delivery and disposal of water, gas, and waste for the residents and the building. A plumbing system for an apartment complex consists of several components, such as pipes, valves, fittings, fixtures, appliances, pumps, tanks, and drains. These components must be designed, installed, maintained, and repaired according to the local codes and standards, as well as the specific needs and preferences of the apartment complex owner and manager. A plumbing system for an apartment complex must also be efficient, reliable, safe, and environmentally friendly. It should minimize water and energy consumption, prevent leaks and clogs, protect against fire and flooding, and reduce noise and odors. A plumbing system for an apartment complex requires the expertise and experience of a licensed and qualified plumber or plumbing contractor. They can provide professional advice, planning, design, installation, maintenance, and repair services for any plumbing project. They can also handle any plumbing emergencies that may arise in an apartment complex.

Water fountains are part of the plumbing budget that should be considered when putting together the reserve funding amount. Water heaters while considered plumbing would be a responsibility of the individual property owners. In 2005 (52) units plumbing was replaced in building B, building A had their 52 units plumbing updated in 2005.



Electrical Systems: All grounding of systems was good, as well as grounding of equipment. Once removed, the electrical panels appeared to be in good condition with the busbars being properly wired. The main breakers were also fine with no double taps, fraying, or melting of wires present. The raceways and feeder conduits are made of EMT conduit tubing, the correct conduit type. Meter rooms were entered and the bottom panel removed for visual inspection. All systems therein were normal i.e. feeders were observed and all were in good condition as well as all were properly labeled.

Feeders for meter rooms are electrical cables that connect the main service panel to the individual meters in a building. They are usually installed in conduit or raceway to protect them from damage and exposure. Feeders for meter rooms should be sized according to the load requirements of each meter and the voltage drop across the cable length. Feeders for meter rooms should also comply with the local electrical codes and standards for safety and performance.



Main Service: This board supports 2000 AMPS, 206/120 Volts, and is a 3 phase 4 wire panel board. The main service is where the grid power is connected to the building, supplying it with all the electricity that the property consumes. The grounding here had all three points of contact: grounding rod, metal pipe, and building. No wiring here was too hot to melt the wires and start a fire. It seems that the systems here are wired correctly and the proper EMT tubing is used.

The main service panel, also known as the distribution center, is a crucial component of a commercial building's electrical system. It splits the main electrical service into individual branch circuits that run through the building to power lights, outlets, and individual appliances.

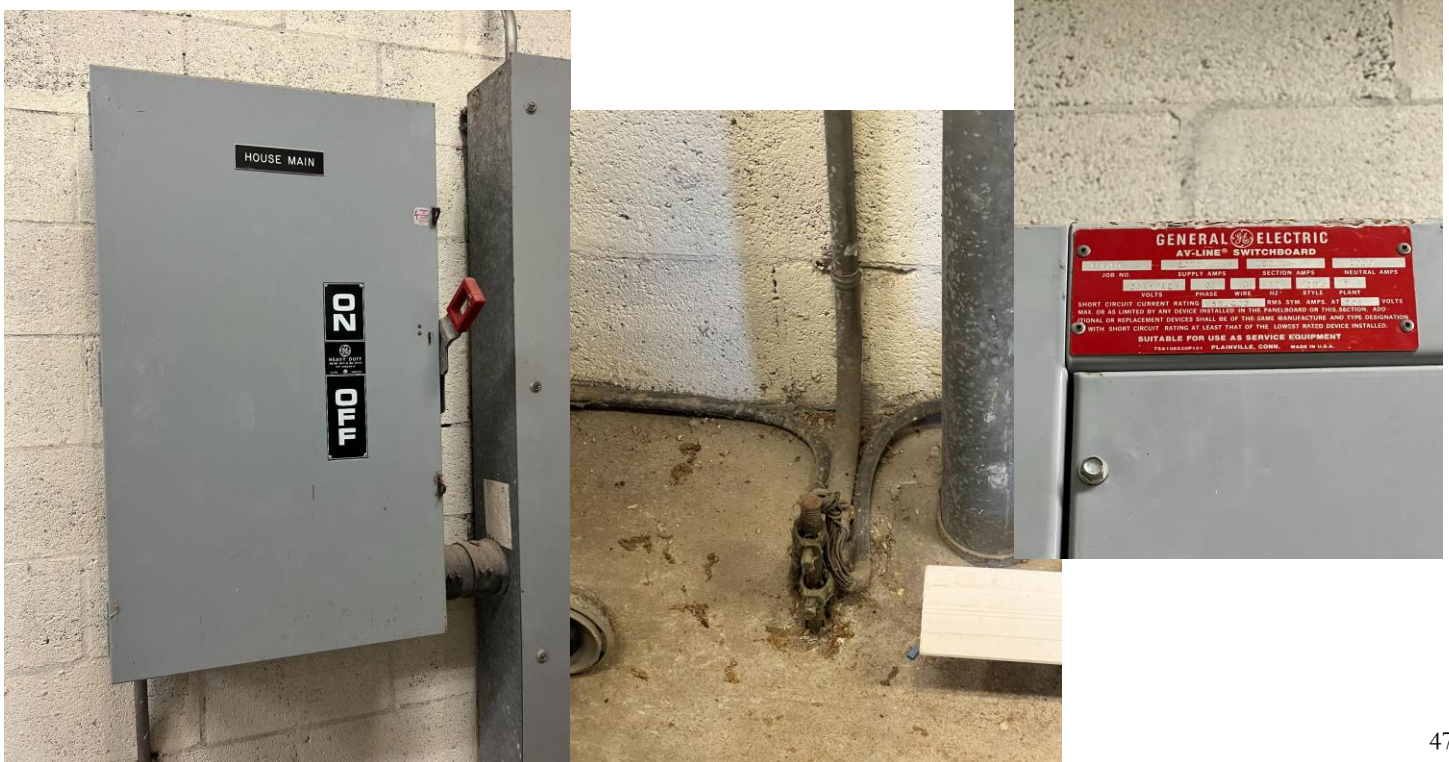
In a commercial building, the main service panel is often located on an exterior wall. It's typically housed in a gray metal box and is readily accessible for maintenance and inspection.

The main disconnect requirements for a commercial building generally require an exterior main service disconnect if the panel is not adjacent to the meter pan. This rule applies even if the service in question is an underground fed ringless meterpan. The main disconnect is usually required due to the readily accessible rule.

The main service panel also provides space for future load points and 120V & 240V circuits. This allows for flexibility and scalability as the electrical needs of the building change over time.

It's important to note that all electrical conductors should be protected as per Article 240 of the National Electrical Code (NEC). Overcurrent protective devices (OCPDs), such as fuses and circuit breakers, are typically housed in the main service panel.

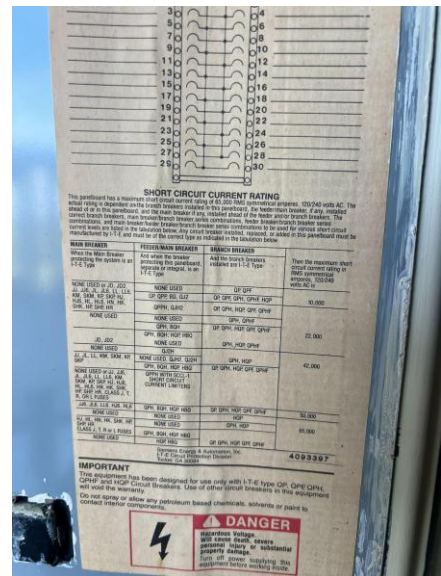
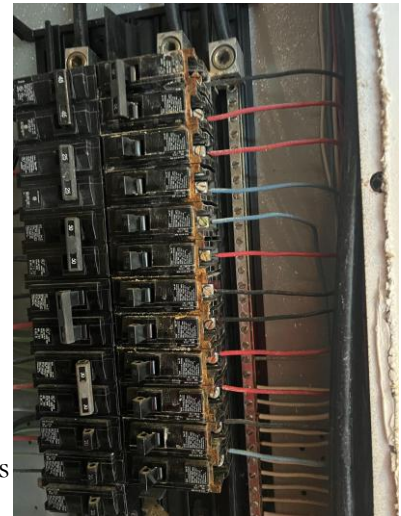
In summary, the main service panel in a commercial building plays a vital role in distributing electricity safely and efficiently throughout the building. It must be properly installed, maintained, and inspected to ensure it meets all safety standards and regulations.



Panels: The panels inspected in each unit: Building A: 506, 605, 803, 901 Building B: 204, 302, 501, 902 Building C: 104, 203, 305, 804, 904 seemed to all be okay. There was some corrosion on unit 203, but no double taps or other red flags like fraying. Most of all of the units described had GFCI outlets in the kitchen and bathrooms. The exit panel had no double taps, a max temperature of 30 deg C, and the raceways were in good condition. The pool panel on this property was in good condition, with it not pulling too much power to overheat the wires as well as the grounding was also good on this equipment. The panels located in the elevator machine rooms were running a little hot, with one building's machine running at about 90 deg C, while the other ones had a max temperature of 60 deg C.

Here are some common mistakes that can be found on electrical panels:

1. Mixing wire gauges in a circuit
2. Installing too big a circuit breaker for wire size
3. Nailing cable staples too tight
4. Installing the wrong-sized electrical boxes
5. Reversing polarity on outlet
6. Damaging the jacket of non-metallic sheathed cable
7. Mixing line- and low-voltage wires
8. Not using a splice box when installing a new light fixture
9. Overcrowding holes with too many wires
10. Putting HVAC ducts too close to carbon-monoxide and smoke detectors
11. Overloading electrical outlets and circuits
12. Not grounding electrical devices properly
13. Using the wrong light bulbs
14. Installing electrical devices in unsafe locations
15. Neglecting regular electrical maintenance
16. Incorrect wiring connections
17. Failing to ground electrical outlets
18. Using incorrectly rated electrical components
19. Poorly installed electrical panels
20. Not obtaining proper electrical permits
21. Ignoring electrical warning signs
22. Lack of electrical safety precautions
23. Improper grounding/bonding
24. No GFCI installed
25. Faulty wire connections
26. Improper junction box
27. Unsecured outlets
28. Reversed polarity



These mistakes can lead to serious issues like short circuits, shocks, and even fires if left uncorrected, so it's important to have your electrical panel inspected regularly by a professional electrician.

2024 Reserve Summary					
Bryn Mawr Ocean Tower Condominiums					
Total number of units: 156					
5055, 5059, 5061 N North Highway A1A, Hutchinson Island, FL 34949					
Pool of funds - Fiscal Year runs January 1st through December 31st					
Beginning Reserve Fund Balance: \$0.00					
Category	Repair/ Replace. Cost	Useful Life (years)	Remain Life (years)	Current Reserve Requirement	2025 Contri.per unit
Building A and B - non SIRS					
03 45 00 Exterior Precast Concrete Railings Catwalk - Restoration	\$ 533,700.00	10	7	\$ 160,110.00	\$ 1,026.35
03 45 00 Exterior Precast Concrete Railings Catwalk - Replace	\$ 1,067,400.00	50	16	\$ 832,572.00	\$ 5,337.00
05 73 00 Balcony Aluminum Railings - Replace	\$ 526,240.00	50	11	\$ 410,467.20	\$ 3,373.33
26 51 13 Walkway Lights	\$ 5,400.00	15	5	\$ 3,600.00	\$ 23.08
14 91 82 Trash Chutes	\$ 240,000.00	50	16	\$ 187,200.00	\$ 1,200.00
05 51 13 Stairwells	\$ 15,000.00	50	16	\$ 11,700.00	\$ 75.00
14 20 00 Mechanical - Elevator	\$ 1,253,600.00	25	23	\$ 501,440.00	\$ 3,214.36
23 71 00 Mechanical - HVAC	\$ 24,500.00	13	2	\$ 1,884.62	\$ 12.08
11 46 13 Game Room - Updating	\$ 45,000.00	20	10	\$ 22,500.00	\$ 144.23
11 65 00 Exercise Room - Refurbish	\$ 7,000.00	10	5	\$ 3,500.00	\$ 22.44
Building C - non SIRS					
03 45 00 Exterior Precast Concrete Railings Catwalk - Restoration	\$ 266,850.00	10	7	\$ 80,055.00	\$ 513.17
03 45 00 Exterior Precast Concrete Railings Catwalk - Replace	\$ 533,700.00	50	16	\$ 362,916.00	\$ 2,326.38
05 73 00 Balcony Aluminum Railings - Replace	\$ 263,120.00	50	11	\$ 205,233.60	\$ 1,686.67
26 51 13 Walkway Lights	\$ 2,700.00	15	5	\$ 1,800.00	\$ 11.54
14 91 82 Trash Chutes	\$ 120,000.00	50	16	\$ 81,600.00	\$ 523.08
05 51 13 Stairwells	\$ 7,500.00	50	16	\$ 5,100.00	\$ 32.69
14 20 00 Mechanical - Elevator	\$ 466,500.00	25	8	\$ 317,220.00	\$ 2,033.46
23 71 00 Mechanical - HVAC	\$ 12,250.00	13	2	\$ 10,365.38	\$ 66.44
11 46 13 Game Room - Updating	\$ 22,500.00	20	10	\$ 11,250.00	\$ 72.12
11 65 00 Exercise Room - Refurbish	\$ 3,500.00	10	5	\$ 1,750.00	\$ 11.22
Common Area - non SIRS					
22 12 00 Plumbing - Water Storage Tank	\$ 36,000.00	36	0	\$ 36,000.00	\$ 230.77
26 32 10 Mechanical - Generator	\$ 40,000.00	30	21	\$ 12,000.00	\$ 76.92
32 50 00 Entrance Barrier Gate System	\$ 30,000.00	15	14	\$ 2,000.00	\$ 12.82
10 82 00 Barbeque Grill	\$ 800.00	10	5	\$ 400.00	\$ 2.56
10 75 00 Flag Pole	\$ 3,750.00	25	11	\$ 2,100.00	\$ 13.46
32 31 00 Tennis Court Fence	\$ 24,365.00	10	2	\$ 19,492.00	\$ 124.95
32 18 00 Tennis Court - Rebuild	\$ 48,732.00	30	16	\$ 22,741.60	\$ 145.78
32 18 23.53 Tennis Court - Resurface	\$ 18,274.50	5	1	\$ 14,619.60	\$ 93.72
32 14 00 Asphalt - Resurface 1" Mill and Overlay	\$ 204,660.00	11	10	\$ 18,605.45	\$ 119.27
32 11 70 Asphalt - Reseal	\$ 51,165.00	5	4	\$ 10,233.00	\$ 65.60
35 01 30 Boardwalks - Beach	\$ 55,360.00	25	25	\$ -	\$ -
35 01 30 Boardwalk - Rear	\$ 100,000.00	50	11	\$ 78,000.00	\$ 500.00
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ 18,720.00	50	11	\$ 14,601.60	\$ 93.60
13 11 00 Pool Deck	\$ 29,963.13	15	12	\$ 5,992.63	\$ 38.41
13 01 11 Pool Finishes	\$ 39,019.68	18	15	\$ 6,503.28	\$ 41.69
22 60 00 Pool Equipment	\$ 23,000.00	20	10	\$ 11,500.00	\$ 73.72
22 60 00 Pool Heaters	\$ 18,000.00	10	5	\$ 9,000.00	\$ 57.69
10 28 00 Common Area Bathrooms	\$ 10,000.00	17	12	\$ 2,941.18	\$ 18.85
Total	\$ 4,040,929.31			\$ 3,478,994.14	\$ 23,414.44

Reserve Component Analysis

Buildings A and B non SIRS								
Div	Useful life	Remain. Life	Quantity	Unit Quantity	Unit Cost	Replacement/ Restoration Cost	Normal Annual Contribution	Current Reserve Requirement
03 45 00 Exterior Precast Concrete Railings Catwalk - Restoration	10	7	7116	Linear Feet	\$ 100.00	\$ 711,600.00	\$ 71,160.00	\$ 213,480.00
03 45 00 Exterior Precast Concrete Railings Catwalk - Replace	50	11	7116	Linear Feet	\$ 150.00	\$ 1,067,400.00	\$ 21,348.00	\$ 832,572.00
05 73 00 Balcony Aluminum Railings - Replace	50	11	5060	Linear Feet	\$ 104.00	\$ 526,240.00	\$ 10,524.80	\$ 410,467.20
26 51 13 Walkway Lights	15	5	240	Each	\$ 100.00	\$ 24,000.00	\$ 1,600.00	\$ 16,000.00
14 91 82 Trash Chutes	50	11	4	Each	\$ 60,000.00	\$ 240,000.00	\$ 4,800.00	\$ 187,200.00
05 51 13 Stairwells	50	11	2	Each	\$ 7,500.00	\$ 15,000.00	\$ 300.00	\$ 11,700.00
14 20 00 Mechanical - Elevator	25	15	4	Each	\$ 313,400.00	\$ 1,253,600.00	\$ 50,144.00	\$ 501,440.00
23 71 00 Mechanical - HVAC	13	12	2	Each	\$ 12,250.00	\$ 24,500.00	\$ 1,884.62	\$ 1,884.62
11 46 13 Game Room - Updating	20	10	2	Lump Sum	\$ 45,000.00	\$ 45,000.00	\$ 2,250.00	\$ 22,500.00
11 65 00 Exercise Room - Refurbish	10	5	2	Lump Sum	\$ 7,000.00	\$ 7,000.00	\$ 700.00	\$ 3,500.00
Total						\$ 3,914,340.00	\$164,711.42	\$2,200,743.82

Common Area - non SIRS								
Div	Useful life	Remain. Life	Quantity	Unit Quantity	Unit Cost	Replacement/ Restoration Cost	Normal Annual Contribution	Current Reserve Requirement
22 12 00 Plumbing - Water Storage Tank	36	0	1	Each	\$ 36,000.00	\$ 36,000.00	\$ 1,000.00	\$ 36,000.00
26 32 10 Mechanical - Generator	30	21	1	Each	\$ 40,000.00	\$ 40,000.00	\$ 1,333.33	\$ 12,000.00
32 50 00 Entrance Barrier Gate System	15	14	2	Each	\$ 15,000.00	\$ 30,000.00	\$ 2,000.00	\$ 2,000.00
10 82 00 Barbeque Grill	10	5	4	Each	\$ 200.00	\$ 800.00	\$ 80.00	\$ 400.00
10 75 00 Flag Pole	25	11	1	Each	\$ 3,750.00	\$ 3,750.00	\$ 150.00	\$ 2,100.00
32 31 00 Tennis Court Fence	10	2	443	Linear Feet	\$ 55.00	\$ 24,365.00	\$ 2,436.50	\$ 19,492.00
32 18 00 Tennis Court - Rebuild	30	16	12183	Square Feet	\$ 4.00	\$ 48,732.00	\$ 1,624.40	\$ 22,741.60
32 18 23.53 Tennis Court - Resurface	5	1	12183.0	Square Feet	\$ 1.50	\$ 18,274.50	\$ 3,654.90	\$ 14,619.60
32 14 00 Asphalt - Resurface 1" Mill and Overlay	11	10	11370.0	Square Yard	\$ 18.00	\$ 204,660.00	\$ 18,605.45	\$ 18,605.45
32 11 70 Asphalt - Reseal	5	4	11370.0	Square Yard	\$ 4.50	\$ 51,165.00	\$ 10,233.00	\$ 10,233.00
35 01 30 Boardwalks - Beach	25	25	1	Each	\$ 55,360.00	\$ 55,360.00	\$ 2,214.40	\$ -
35 01 30 Boardwalk - Rear	50	11	1	Each	\$ 100,000.00	\$ 100,000.00	\$ 2,000.00	\$ 78,000.00
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	50	11	180	Linear Feet	\$ 104.00	\$ 18,720.00	\$ 374.40	\$ 14,601.60
13 11 00 Pool Deck	15	12	4533	Square Feet	\$ 6.61	\$ 29,963.13	\$ 1,997.54	\$ 5,992.63
13 01 11 Pool Finishes	18	15	2744	Square	\$ 14.22	\$ 39,019.68	\$ 2,167.76	\$ 6,503.28
22 60 00 Pool Equipment	20	10	1	Lump Sum	\$ 23,000.00	\$ 23,000.00	\$ 1,150.00	\$ 11,500.00
22 60 00 Pool Heaters	10	5	1	Lump Sum	\$ 18,000.00	\$ 18,000.00	\$ 1,800.00	\$ 9,000.00
10 28 00 Common Area Bathrooms	17	12	1	Lump Sum	\$ 10,000.00	\$ 10,000.00	\$ 588.24	\$ 2,941.18
Total						\$ 751,809.31	\$53,409.93	\$266,730.34
26 51 13 Walkway Lights	15	5	120	Each	\$ 100.00	\$ 12,000.00	\$ 800.00	\$ 8,000.00
14 91 82 Trash Chutes	50	16	2	Each	\$ 60,000.00	\$ 120,000.00	\$ 2,400.00	\$ 81,600.00
05 51 13 Stairwells	50	16	1	Each	\$ 7,500.00	\$ 7,500.00	\$ 150.00	\$ 5,100.00
14 20 00 Mechanical - Elevator	25	8	2	Each	\$ 233,250.00	\$ 466,500.00	\$ 18,660.00	\$ 317,220.00
23 71 00 Mechanical - HVAC	13	2	1	Each	\$ 12,250.00	\$ 12,250.00	\$ 942.31	\$ 10,365.38
11 46 13 Game Room - Updating	20	10	1	Lump Sum	\$ 22,500.00	\$ 22,500.00	\$ 1,125.00	\$ 11,250.00
11 65 00 Exercise Room - Refurbish	10	5	1	Lump Sum	\$ 3,500.00	\$ 3,500.00	\$ 350.00	\$ 1,750.00
Total						\$ 1,796,870.00	\$75,943.71	\$1,110,174.98

Reserve Funding Analysis

Year Number	1			2		
Year	2025			2026		
Starting Reserve Balance	\$0.00			\$3,503,203.39		
Ending Reserve Balance	\$3,577,649.14			\$3,797,268.44		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 213,480.00	\$ 1,368.46	\$ -	\$ 71,160.00	\$ 456.15
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 832,572.00	\$ 5,337.00	\$ -	\$ 21,348.00	\$ 136.85
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 410,467.20	\$ 2,631.20	\$ -	\$ 10,524.80	\$ 67.47
Walkway Lights	\$ -	\$ 16,000.00	\$ 102.56	\$ -	\$ 1,600.00	\$ 10.26
Trash Chutes	\$ -	\$ 187,200.00	\$ 1,200.00	\$ -	\$ 4,800.00	\$ 30.77
Stairwells	\$ -	\$ 11,700.00	\$ 75.00	\$ -	\$ 300.00	\$ 1.92
Mechanical - Elevator Modernization	\$ -	\$ 501,440.00	\$ 3,214.36	\$ -	\$ 50,144.00	\$ 321.44
Mechanical - HVAC	\$ -	\$ 1,884.62	\$ 12.08	\$ -	\$ 1,884.62	\$ 12.08
Game Room - Updating	\$ -	\$ 22,500.00	\$ 144.23	\$ -	\$ 2,250.00	\$ 14.42
Exercise Room - Refurbish	\$ -	\$ 3,500.00	\$ 22.44	\$ -	\$ 700.00	\$ 4.49
Building C	\$ -			\$ -		
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 106,740.00	\$ 684.23	\$ -	\$ 35,580.00	\$ 228.08
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 362,916.00	\$ 2,326.38	\$ -	\$ 10,674.00	\$ 68.42
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 205,233.60	\$ 1,315.60	\$ -	\$ 5,262.40	\$ 33.73
Walkway Lights	\$ -	\$ 8,000.00	\$ 51.28	\$ -	\$ 800.00	\$ 5.13
Trash Chutes	\$ -	\$ 81,600.00	\$ 523.08	\$ -	\$ 2,400.00	\$ 15.38
Stairwells	\$ -	\$ 5,100.00	\$ 32.69	\$ -	\$ 150.00	\$ 0.96
Mechanical - Elevator	\$ -	\$ 317,220.00	\$ 2,033.46	\$ -	\$ 18,660.00	\$ 119.62
Mechanical - HVAC	\$ -	\$ 10,365.38	\$ 66.44	\$ 12,862.50	\$ 942.31	\$ 6.04
Game Room - Updating	\$ -	\$ 11,250.00	\$ 72.12	\$ -	\$ 1,125.00	\$ 7.21
Exercise Room - Refurbish	\$ -	\$ 1,750.00	\$ 11.22	\$ -	\$ 350.00	\$ 2.24
Common Area	\$ -			\$ -		
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 36,000.00	\$ 230.77	\$ 36,000.00	\$ 1,000.00	\$ 6.41
26 32 10 Mechanical - Generator	\$ -	\$ 12,000.00	\$ 76.92	\$ -	\$ 1,333.33	\$ 8.55
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,000.00	\$ 12.82	\$ -	\$ 2,000.00	\$ 12.82
10 82 00 Barbeque Grill	\$ -	\$ 400.00	\$ 2.56	\$ -	\$ 80.00	\$ 0.51
10 75 00 Flag Pole	\$ -	\$ 2,100.00	\$ 13.46	\$ -	\$ 150.00	\$ 0.96
32 31 00 Tennis Court Fence	\$ -	\$ 19,492.00	\$ 124.95	\$ 25,583.25	\$ 2,436.50	\$ 15.62
32 18 00 Tennis Court - Rebuild	\$ -	\$ 22,741.60	\$ 145.78	\$ -	\$ 1,624.40	\$ 10.41
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 14,619.60	\$ 93.72	\$ -	\$ 3,654.90	\$ 23.43
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 18,605.45	\$ 119.27	\$ -	\$ 18,605.45	\$ 119.27
32 11 70 Asphalt - Reseal	\$ -	\$ 10,233.00	\$ 65.60	\$ -	\$ 10,233.00	\$ 65.60
35 01 30 Boardwalks - Beach	\$ -	\$ -	\$ -	\$ -	\$ 2,214.40	\$ 14.19
35 01 30 Boardwalk - Rear	\$ -	\$ 78,000.00	\$ 500.00	\$ -	\$ 2,000.00	\$ 12.82
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 14,601.60	\$ 93.60	\$ -	\$ 374.40	\$ 2.40
13 11 00 Pool Deck	\$ -	\$ 5,992.63	\$ 38.41	\$ -	\$ 1,997.54	\$ 12.80
13 01 11 Pool Finishes	\$ -	\$ 6,503.28	\$ 41.69	\$ -	\$ 2,167.76	\$ 13.90
22 60 00 Pool Equipment	\$ -	\$ 11,500.00	\$ 73.72	\$ -	\$ 1,150.00	\$ 7.37
22 60 00 Pool Heaters	\$ -	\$ 9,000.00	\$ 57.69	\$ -	\$ 1,800.00	\$ 11.54
10 28 00 Common Area Bathrooms	\$ -	\$ 2,941.18	\$ 18.85	\$ -	\$ 588.24	\$ 3.77
Total	\$ -	\$ 3,577,649.14	\$ 22,933.65	\$ 74,445.75	\$ 294,065.05	\$ 1,885.03

Year Number	3			4		
Year	2027			2028		
Starting Reserve Balance	\$3,797,268.44			\$4,042,403.61		
Ending Reserve Balance	\$4,098,685.11			\$4,351,171.91		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 72,939.00	\$ 467.56	\$ -	\$ 74,718.00	\$ 478.96
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 21,881.70	\$ 140.27	\$ -	\$ 22,415.40	\$ 143.69
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 10,787.92	\$ 69.15	\$ -	\$ 11,051.04	\$ 70.84
Walkway Lights	\$ -	\$ 1,640.00	\$ 10.51	\$ -	\$ 1,680.00	\$ 10.77
Trash Chutes	\$ -	\$ 4,920.00	\$ 31.54	\$ -	\$ 5,040.00	\$ 32.31
Stairwells	\$ -	\$ 307.50	\$ 1.97	\$ -	\$ 315.00	\$ 2.02
Mechanical - Elevator Modernization	\$ -	\$ 51,397.60	\$ 329.47	\$ -	\$ 52,651.20	\$ 337.51
Mechanical - HVAC	\$ -	\$ 1,931.73	\$ 12.38	\$ -	\$ 1,978.85	\$ 12.68
Game Room - Updating	\$ -	\$ 2,306.25	\$ 14.78	\$ -	\$ 2,362.50	\$ 15.14
Exercise Room - Refurbish	\$ -	\$ 717.50	\$ 4.60	\$ -	\$ 735.00	\$ 4.71
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 36,469.50	\$ 233.78	\$ -	\$ 37,359.00	\$ 239.48
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 10,940.85	\$ 70.13	\$ -	\$ 11,207.70	\$ 71.84
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 5,393.96	\$ 34.58	\$ -	\$ 5,525.52	\$ 35.42
Walkway Lights	\$ -	\$ 820.00	\$ 5.26	\$ -	\$ 840.00	\$ 5.38
Trash Chutes	\$ -	\$ 2,460.00	\$ 15.77	\$ -	\$ 2,520.00	\$ 16.15
Stairwells	\$ -	\$ 153.75	\$ 0.99	\$ -	\$ 157.50	\$ 1.01
Mechanical - Elevator	\$ -	\$ 19,126.50	\$ 122.61	\$ -	\$ 19,593.00	\$ 125.60
Mechanical - HVAC	\$ -	\$ 965.87	\$ 6.19	\$ -	\$ 989.42	\$ 6.34
Game Room - Updating	\$ -	\$ 1,153.13	\$ 7.39	\$ -	\$ 1,181.25	\$ 7.57
Exercise Room - Refurbish	\$ -	\$ 358.75	\$ 2.30	\$ -	\$ 367.50	\$ 2.36
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,025.00	\$ 6.57	\$ -	\$ 1,050.00	\$ 6.73
26 32 10 Mechanical - Generator	\$ -	\$ 1,366.67	\$ 8.76	\$ -	\$ 1,400.00	\$ 8.97
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,050.00	\$ 13.14	\$ -	\$ 2,100.00	\$ 13.46
10 82 00 Barbeque Grill	\$ -	\$ 82.00	\$ 0.53	\$ -	\$ 84.00	\$ 0.54
10 75 00 Flag Pole	\$ -	\$ 153.75	\$ 0.99	\$ -	\$ 157.50	\$ 1.01
32 31 00 Tennis Court Fence	\$ -	\$ 2,497.41	\$ 16.01	\$ -	\$ 2,558.33	\$ 16.40
32 18 00 Tennis Court - Rebuild	\$ -	\$ 1,665.01	\$ 10.67	\$ -	\$ 1,705.62	\$ 10.93
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 3,746.27	\$ 24.01	\$ -	\$ 3,837.65	\$ 24.60
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 19,070.59	\$ 122.25	\$ -	\$ 19,535.73	\$ 125.23
32 11 70 Asphalt - Reseal	\$ -	\$ 10,488.83	\$ 67.24	\$ 56,281.50	\$ 10,744.65	\$ 68.88
35 01 30 Boardwalks - Beach	\$ -	\$ 2,269.76	\$ 14.55	\$ -	\$ 2,325.12	\$ 14.90
35 01 30 Boardwalk - Rear	\$ -	\$ 2,050.00	\$ 13.14	\$ -	\$ 2,100.00	\$ 13.46
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 383.76	\$ 2.46	\$ -	\$ 393.12	\$ 2.52
13 11 00 Pool Deck	\$ -	\$ 2,047.48	\$ 13.12	\$ -	\$ 2,097.42	\$ 13.44
13 01 11 Pool Finishes	\$ -	\$ 2,221.95	\$ 14.24	\$ -	\$ 2,276.15	\$ 14.59
22 60 00 Pool Equipment	\$ -	\$ 1,178.75	\$ 7.56	\$ -	\$ 1,207.50	\$ 7.74
22 60 00 Pool Heaters	\$ -	\$ 1,845.00	\$ 11.83	\$ -	\$ 1,890.00	\$ 12.12
10 28 00 Common Area Bathrooms	\$ -	\$ 602.94	\$ 3.87	\$ -	\$ 617.65	\$ 3.96
Total	\$ -	\$ 301,416.67	\$ 1,932.16	\$ 56,281.50	\$ 308,768.30	\$ 1,979.28

Year Number	5			6		
Year	2029			2030		
Starting Reserve Balance	\$4,277,709.41			\$4,572,813.66		
Ending Reserve Balance	\$4,593,829.34			\$4,896,285.22		
Component	Annual Expense	Required Reserves Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 76,497.00	\$ 490.37	\$ -	\$ 78,276.00	\$ 501.77
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 22,949.10	\$ 147.11	\$ -	\$ 23,482.80	\$ 150.53
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 11,314.16	\$ 72.53	\$ -	\$ 11,577.28	\$ 74.21
Walkway Lights	\$ 27,000.00	\$ 1,720.00	\$ 11.03	\$ -	\$ 1,760.00	\$ 11.28
Trash Chutes	\$ -	\$ 5,160.00	\$ 33.08	\$ -	\$ 5,280.00	\$ 33.85
Stairwells	\$ -	\$ 322.50	\$ 2.07	\$ -	\$ 330.00	\$ 2.12
Mechanical - Elevator Modernization	\$ -	\$ 53,904.80	\$ 345.54	\$ -	\$ 55,158.40	\$ 353.58
Mechanical - HVAC	\$ -	\$ 2,025.96	\$ 12.99	\$ -	\$ 2,073.08	\$ 13.29
Game Room - Updating	\$ -	\$ 2,418.75	\$ 15.50	\$ -	\$ 2,475.00	\$ 15.87
Excercise Room - Refurbish	\$ 7,875.00	\$ 752.50	\$ 4.82	\$ -	\$ 770.00	\$ 4.94
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 38,248.50	\$ 245.18	\$ -	\$ 39,138.00	\$ 250.88
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 11,474.55	\$ 73.55	\$ -	\$ 11,741.40	\$ 75.27
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 5,657.08	\$ 36.26	\$ -	\$ 5,788.64	\$ 37.11
Walkway Lights	\$ 13,500.00	\$ 860.00	\$ 5.51	\$ -	\$ 880.00	\$ 5.64
Trash Chutes	\$ -	\$ 2,580.00	\$ 16.54	\$ -	\$ 2,640.00	\$ 16.92
Stairwells	\$ -	\$ 161.25	\$ 1.03	\$ -	\$ 165.00	\$ 1.06
Mechanical - Elevator	\$ -	\$ 20,059.50	\$ 128.59	\$ -	\$ 20,526.00	\$ 131.58
Mechanical - HVAC	\$ -	\$ 1,012.98	\$ 6.49	\$ -	\$ 1,036.54	\$ 6.64
Game Room - Updating	\$ -	\$ 1,209.38	\$ 7.75	\$ -	\$ 1,237.50	\$ 7.93
Excercise Room - Refurbish	\$ 3,937.50	\$ 376.25	\$ 2.41	\$ -	\$ 385.00	\$ 2.47
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,075.00	\$ 6.89	\$ -	\$ 1,100.00	\$ 7.05
26 32 10 Mechanical - Generator	\$ -	\$ 1,433.33	\$ 9.19	\$ -	\$ 1,466.67	\$ 9.40
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,150.00	\$ 13.78	\$ -	\$ 2,200.00	\$ 14.10
10 82 00 Barbeque Grill	\$ 900.00	\$ 86.00	\$ 0.55	\$ -	\$ 88.00	\$ 0.56
10 75 00 Flag Pole	\$ -	\$ 161.25	\$ 1.03	\$ -	\$ 165.00	\$ 1.06
32 31 00 Tennis Court Fence	\$ -	\$ 2,619.24	\$ 16.79	\$ -	\$ 2,680.15	\$ 17.18
32 18 00 Tennis Court - Rebuild	\$ -	\$ 1,746.23	\$ 11.19	\$ -	\$ 1,786.84	\$ 11.45
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 3,929.02	\$ 25.19	\$ 21,015.68	\$ 4,020.39	\$ 25.77
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 20,000.86	\$ 128.21	\$ -	\$ 20,466.00	\$ 131.19
32 11 70 Asphalt - Reseal	\$ -	\$ 11,000.48	\$ 70.52	\$ -	\$ 11,256.30	\$ 72.16
35 01 30 Boardwalks - Beach	\$ -	\$ 2,380.48	\$ 15.26	\$ -	\$ 2,435.84	\$ 15.61
35 01 30 Boardwalk - Rear	\$ -	\$ 2,150.00	\$ 13.78	\$ -	\$ 2,200.00	\$ 14.10
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 402.48	\$ 2.58	\$ -	\$ 411.84	\$ 2.64
13 11 00 Pool Deck	\$ -	\$ 2,147.36	\$ 13.77	\$ -	\$ 2,197.30	\$ 14.09
13 01 11 Pool Finishes	\$ -	\$ 2,330.34	\$ 14.94	\$ -	\$ 2,384.54	\$ 15.29
22 60 00 Pool Equipment	\$ -	\$ 1,236.25	\$ 7.92	\$ -	\$ 1,265.00	\$ 8.11
22 60 00 Pool Heaters	\$ 20,250.00	\$ 1,935.00	\$ 12.40	\$ -	\$ 1,980.00	\$ 12.69
10 28 00 Common Area Bathrooms	\$ -	\$ 632.35	\$ 4.05	\$ -	\$ 647.06	\$ 4.15
Total	\$ 73,462.50	\$ 316,119.93	\$ 2,026.41	\$ 21,015.68	\$ 323,471.55	\$ 2,073.54

Year Number	7			8		
Year	2031			2032		
Starting Reserve Balance	\$3,642,090.22			\$3,413,113.39		
Ending Reserve Balance	\$3,972,913.39			\$3,751,288.20		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 836,130.00	\$ 80,055.00	\$ 513.17	\$ -	\$ 81,834.00	\$ 524.58
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 24,016.50	\$ 153.95	\$ -	\$ 24,550.20	\$ 157.37
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 11,840.40	\$ 75.90	\$ -	\$ 12,103.52	\$ 77.59
Walkway Lights	\$ -	\$ 1,800.00	\$ 11.54	\$ -	\$ 1,840.00	\$ 11.79
Trash Chutes	\$ -	\$ 5,400.00	\$ 34.62	\$ -	\$ 5,520.00	\$ 35.38
Stairwells	\$ -	\$ 337.50	\$ 2.16	\$ -	\$ 345.00	\$ 2.21
Mechanical - Elevator Modernization	\$ -	\$ 56,412.00	\$ 361.62	\$ -	\$ 57,665.60	\$ 369.65
Mechanical - HVAC	\$ -	\$ 2,120.19	\$ 13.59	\$ -	\$ 2,167.31	\$ 13.89
Game Room - Updating	\$ -	\$ 2,531.25	\$ 16.23	\$ -	\$ 2,587.50	\$ 16.59
Exercise Room - Refurbish	\$ -	\$ 787.50	\$ 5.05	\$ -	\$ 805.00	\$ 5.16
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 418,065.00	\$ 40,027.50	\$ 256.59	\$ -	\$ 40,917.00	\$ 262.29
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 12,008.25	\$ 76.98	\$ -	\$ 12,275.10	\$ 78.69
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 5,920.20	\$ 37.95	\$ -	\$ 6,051.76	\$ 38.79
Walkway Lights	\$ -	\$ 900.00	\$ 5.77	\$ -	\$ 920.00	\$ 5.90
Trash Chutes	\$ -	\$ 2,700.00	\$ 17.31	\$ -	\$ 2,760.00	\$ 17.69
Stairwells	\$ -	\$ 168.75	\$ 1.08	\$ -	\$ 172.50	\$ 1.11
Mechanical - Elevator	\$ -	\$ 20,992.50	\$ 134.57	\$ 559,800.00	\$ 21,459.00	\$ 137.56
Mechanical - HVAC	\$ -	\$ 1,060.10	\$ 6.80	\$ -	\$ 1,083.65	\$ 6.95
Game Room - Updating	\$ -	\$ 1,265.63	\$ 8.11	\$ -	\$ 1,293.75	\$ 8.29
Exercise Room - Refurbish	\$ -	\$ 393.75	\$ 2.52	\$ -	\$ 402.50	\$ 2.58
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,125.00	\$ 7.21	\$ -	\$ 1,150.00	\$ 7.37
26 32 10 Mechanical - Generator	\$ -	\$ 1,500.00	\$ 9.62	\$ -	\$ 1,533.33	\$ 9.83
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,250.00	\$ 14.42	\$ -	\$ 2,300.00	\$ 14.74
10 82 00 Barbeque Grill	\$ -	\$ 90.00	\$ 0.58	\$ -	\$ 92.00	\$ 0.59
10 75 00 Flag Pole	\$ -	\$ 168.75	\$ 1.08	\$ -	\$ 172.50	\$ 1.11
32 31 00 Tennis Court Fence	\$ -	\$ 2,741.06	\$ 17.57	\$ -	\$ 2,801.98	\$ 17.96
32 18 00 Tennis Court - Rebuild	\$ -	\$ 1,827.45	\$ 11.71	\$ -	\$ 1,868.06	\$ 11.97
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 4,111.76	\$ 26.36	\$ -	\$ 4,203.14	\$ 26.94
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 20,931.14	\$ 134.17	\$ -	\$ 21,396.27	\$ 137.16
32 11 70 Asphalt - Reseal	\$ -	\$ 11,512.13	\$ 73.80	\$ -	\$ 11,767.95	\$ 75.44
35 01 30 Boardwalks - Beach	\$ -	\$ 2,491.20	\$ 15.97	\$ -	\$ 2,546.56	\$ 16.32
35 01 30 Boardwalk - Rear	\$ -	\$ 2,250.00	\$ 14.42	\$ -	\$ 2,300.00	\$ 14.74
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 421.20	\$ 2.70	\$ -	\$ 430.56	\$ 2.76
13 11 00 Pool Deck	\$ -	\$ 2,247.23	\$ 14.41	\$ -	\$ 2,297.17	\$ 14.73
13 01 11 Pool Finishes	\$ -	\$ 2,438.73	\$ 15.63	\$ -	\$ 2,492.92	\$ 15.98
22 60 00 Pool Equipment	\$ -	\$ 1,293.75	\$ 8.29	\$ -	\$ 1,322.50	\$ 8.48
22 60 00 Pool Heaters	\$ -	\$ 2,025.00	\$ 12.98	\$ -	\$ 2,070.00	\$ 13.27
10 28 00 Common Area Bathrooms	\$ -	\$ 661.76	\$ 4.24	\$ -	\$ 676.47	\$ 4.34
Total	\$1,254,195.00	\$330,823.18	\$ 2,120.66	\$ 559,800.00	\$338,174.81	\$ 2,167.79

Year Number	9			10		
Year	2033			2034		
Starting Reserve Balance	\$3,688,611.08			\$3,642,687.51		
Ending Reserve Balance	\$4,034,137.51			\$3,995,565.56		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 83,613.00	\$ 535.98	\$ -	\$ 85,392.00	\$ 547.38
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 25,083.90	\$ 160.79	\$ -	\$ 25,617.60	\$ 164.22
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 12,366.64	\$ 79.27	\$ -	\$ 12,629.76	\$ 80.96
Walkway Lights	\$ -	\$ 1,880.00	\$ 12.05	\$ -	\$ 1,920.00	\$ 12.31
Trash Chutes	\$ -	\$ 5,640.00	\$ 36.15	\$ -	\$ 5,760.00	\$ 36.92
Stairwells	\$ -	\$ 352.50	\$ 2.26	\$ -	\$ 360.00	\$ 2.31
Mechanical - Elevator Modernization	\$ -	\$ 58,919.20	\$ 377.69	\$ -	\$ 60,172.80	\$ 385.72
Mechanical - HVAC	\$ -	\$ 2,214.42	\$ 14.20	\$ -	\$ 2,261.54	\$ 14.50
Game Room - Updating	\$ -	\$ 2,643.75	\$ 16.95	\$ 56,250.00	\$ 2,700.00	\$ 17.31
Exercise Room - Refurbish	\$ -	\$ 822.50	\$ 5.27	\$ -	\$ 840.00	\$ 5.38
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 41,806.50	\$ 267.99	\$ -	\$ 42,696.00	\$ 273.69
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 12,541.95	\$ 80.40	\$ -	\$ 12,808.80	\$ 82.11
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 6,183.32	\$ 39.64	\$ -	\$ 6,314.88	\$ 40.48
Walkway Lights	\$ -	\$ 940.00	\$ 6.03	\$ -	\$ 960.00	\$ 6.15
Trash Chutes	\$ -	\$ 2,820.00	\$ 18.08	\$ -	\$ 2,880.00	\$ 18.46
Stairwells	\$ -	\$ 176.25	\$ 1.13	\$ -	\$ 180.00	\$ 1.15
Mechanical - Elevator	\$ -	\$ 21,925.50	\$ 140.55	\$ -	\$ 22,392.00	\$ 143.54
Mechanical - HVAC	\$ -	\$ 1,107.21	\$ 7.10	\$ -	\$ 1,130.77	\$ 7.25
Game Room - Updating	\$ -	\$ 1,321.88	\$ 8.47	\$ 28,125.00	\$ 1,350.00	\$ 8.65
Exercise Room - Refurbish	\$ -	\$ 411.25	\$ 2.64	\$ -	\$ 420.00	\$ 2.69
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,175.00	\$ 7.53	\$ -	\$ 1,200.00	\$ 7.69
26 32 10 Mechanical - Generator	\$ -	\$ 1,566.67	\$ 10.04	\$ -	\$ 1,600.00	\$ 10.26
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,350.00	\$ 15.06	\$ -	\$ 2,400.00	\$ 15.38
10 82 00 Barbeque Grill	\$ -	\$ 94.00	\$ 0.60	\$ -	\$ 96.00	\$ 0.62
10 75 00 Flag Pole	\$ -	\$ 176.25	\$ 1.13	\$ -	\$ 180.00	\$ 1.15
32 31 00 Tennis Court Fence	\$ -	\$ 2,862.89	\$ 18.35	\$ -	\$ 2,923.80	\$ 18.74
32 18 00 Tennis Court - Rebuild	\$ -	\$ 1,908.67	\$ 12.24	\$ -	\$ 1,949.28	\$ 12.50
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 4,294.51	\$ 27.53	\$ -	\$ 4,385.88	\$ 28.11
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 21,861.41	\$ 140.14	\$ 255,825.00	\$ 22,326.55	\$ 143.12
32 11 70 Asphalt - Reseal	\$ 62,677.13	\$ 12,023.78	\$ 77.08	\$ -	\$ 12,279.60	\$ 78.72
35 01 30 Boardwalks - Beach	\$ -	\$ 2,601.92	\$ 16.68	\$ -	\$ 2,657.28	\$ 17.03
35 01 30 Boardwalk - Rear	\$ -	\$ 2,350.00	\$ 15.06	\$ -	\$ 2,400.00	\$ 15.38
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 439.92	\$ 2.82	\$ -	\$ 449.28	\$ 2.88
13 11 00 Pool Deck	\$ -	\$ 2,347.11	\$ 15.05	\$ -	\$ 2,397.05	\$ 15.37
13 01 11 Pool Finishes	\$ -	\$ 2,547.12	\$ 16.33	\$ -	\$ 2,601.31	\$ 16.68
22 60 00 Pool Equipment	\$ -	\$ 1,351.25	\$ 8.66	\$ 28,750.00	\$ 1,380.00	\$ 8.85
22 60 00 Pool Heaters	\$ -	\$ 2,115.00	\$ 13.56	\$ 22,500.00	\$ 2,160.00	\$ 13.85
10 28 00 Common Area Bathrooms	\$ -	\$ 691.18	\$ 4.43	\$ -	\$ 705.88	\$ 4.52
Total	\$ 62,677.13	\$ 345,526.43	\$ 2,214.91	\$ 391,450.00	\$ 352,878.06	\$ 2,262.04

Year Number	11			12		
Year	2035			2036		
Starting Reserve Balance	\$1,123,622.33			\$1,368,375.44		
Ending Reserve Balance	\$1,483,852.01			\$1,735,956.75		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 87,171.00	\$ 558.79	\$ -	\$ 88,950.00	\$ 570.19
Exterior Precast Concrete Railings -Catwalk	\$1,360,935.00	\$ 26,151.30	\$ 167.64	\$ -	\$ 26,685.00	\$ 171.06
05 73 00 Balcony Aluminum Railings - Replace	\$ 670,956.00	\$ 12,892.88	\$ 82.65	\$ -	\$ 13,156.00	\$ 84.33
Walkway Lights	\$ -	\$ 1,960.00	\$ 12.56	\$ -	\$ 2,000.00	\$ 12.82
Trash Chutes	\$ 306,000.00	\$ 5,880.00	\$ 37.69	\$ -	\$ 6,000.00	\$ 38.46
Stairwells	\$ 19,125.00	\$ 367.50	\$ 2.36	\$ -	\$ 375.00	\$ 2.40
Mechanical - Elevator Modernization	\$ -	\$ 61,426.40	\$ 393.76	\$ -	\$ 62,680.00	\$ 401.79
Mechanical - HVAC	\$ -	\$ 2,308.65	\$ 14.80	\$ 31,850.00	\$ 2,355.77	\$ 15.10
Game Room - Updating	\$ -	\$ 2,756.25	\$ 17.67	\$ -	\$ 2,812.50	\$ 18.03
Exercise Room - Refurbish	\$ -	\$ 857.50	\$ 5.50	\$ -	\$ 875.00	\$ 5.61
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 43,585.50	\$ 279.39	\$ -	\$ 44,475.00	\$ 285.10
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 13,075.65	\$ 83.82	\$ -	\$ 13,342.50	\$ 85.53
05 73 00 Balcony Aluminum Railings - Replace	\$ 335,478.00	\$ 6,446.44	\$ 41.32	\$ -	\$ 6,578.00	\$ 42.17
Walkway Lights	\$ -	\$ 980.00	\$ 6.28	\$ -	\$ 1,000.00	\$ 6.41
Trash Chutes	\$ -	\$ 2,940.00	\$ 18.85	\$ -	\$ 3,000.00	\$ 19.23
Stairwells	\$ -	\$ 183.75	\$ 1.18	\$ -	\$ 187.50	\$ 1.20
Mechanical - Elevator	\$ -	\$ 22,858.50	\$ 146.53	\$ -	\$ 23,325.00	\$ 149.52
Mechanical - HVAC	\$ -	\$ 1,154.33	\$ 7.40	\$ -	\$ 1,177.88	\$ 7.55
Game Room - Updating	\$ -	\$ 1,378.13	\$ 8.83	\$ -	\$ 1,406.25	\$ 9.01
Exercise Room - Refurbish	\$ -	\$ 428.75	\$ 2.75	\$ -	\$ 437.50	\$ 2.80
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,225.00	\$ 7.85	\$ -	\$ 1,250.00	\$ 8.01
26 32 10 Mechanical - Generator	\$ -	\$ 1,633.33	\$ 10.47	\$ -	\$ 1,666.67	\$ 10.68
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,450.00	\$ 15.71	\$ -	\$ 2,500.00	\$ 16.03
10 82 00 Barbeque Grill	\$ -	\$ 98.00	\$ 0.63	\$ -	\$ 100.00	\$ 0.64
10 75 00 Flag Pole	\$ 4,781.25	\$ 183.75	\$ 1.18	\$ -	\$ 187.50	\$ 1.20
32 31 00 Tennis Court Fence	\$ -	\$ 2,984.71	\$ 19.13	\$ 31,674.50	\$ 3,045.63	\$ 19.52
32 18 00 Tennis Court - Rebuild	\$ -	\$ 1,989.89	\$ 12.76	\$ -	\$ 2,030.50	\$ 13.02
32 18 23.53 Tennis Court - Resurface	\$ 23,299.99	\$ 4,477.25	\$ 28.70	\$ -	\$ 4,568.63	\$ 29.29
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 22,791.68	\$ 146.10	\$ -	\$ 23,256.82	\$ 149.08
32 11 70 Asphalt - Reseal	\$ -	\$ 12,535.43	\$ 80.36	\$ -	\$ 12,791.25	\$ 82.00
35 01 30 Boardwalks - Beach	\$ -	\$ 2,712.64	\$ 17.39	\$ -	\$ 2,768.00	\$ 17.74
35 01 30 Boardwalk - Rear	\$ 127,500.00	\$ 2,450.00	\$ 15.71	\$ -	\$ 2,500.00	\$ 16.03
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ 23,868.00	\$ 458.64	\$ 2.94	\$ -	\$ 468.00	\$ 3.00
13 11 00 Pool Deck	\$ -	\$ 2,446.99	\$ 15.69	\$ 38,952.07	\$ 2,496.93	\$ 16.01
13 01 11 Pool Finishes	\$ -	\$ 2,655.51	\$ 17.02	\$ -	\$ 2,709.70	\$ 17.37
22 60 00 Pool Equipment	\$ -	\$ 1,408.75	\$ 9.03	\$ -	\$ 1,437.50	\$ 9.21
22 60 00 Pool Heaters	\$ -	\$ 2,205.00	\$ 14.13	\$ -	\$ 2,250.00	\$ 14.42
10 28 00 Common Area Bathrooms	\$ -	\$ 720.59	\$ 4.62	\$ 13,000.00	\$ 735.29	\$ 4.71
Total	\$2,871,943.24	\$360,229.68	\$ 2,309.16	\$ 115,476.57	\$367,581.31	\$ 2,356.29

Year Number	13			14		
Year	2037			2038		
Starting Reserve Balance	\$1,735,956.75			\$2,001,316.94		
Ending Reserve Balance	\$2,110,889.69			\$2,383,601.50		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 90,729.00	\$ 581.60	\$ -	\$ 92,508.00	\$ 593.00
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 27,218.70	\$ 174.48	\$ -	\$ 27,752.40	\$ 177.90
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 13,419.12	\$ 86.02	\$ -	\$ 13,682.24	\$ 87.71
Walkway Lights	\$ -	\$ 2,040.00	\$ 13.08	\$ -	\$ 2,080.00	\$ 13.33
Trash Chutes	\$ -	\$ 6,120.00	\$ 39.23	\$ -	\$ 6,240.00	\$ 40.00
Stairwells	\$ -	\$ 382.50	\$ 2.45	\$ -	\$ 390.00	\$ 2.50
Mechanical - Elevator Modernization	\$ -	\$ 63,933.60	\$ 409.83	\$ -	\$ 65,187.20	\$ 417.87
Mechanical - HVAC	\$ -	\$ 2,402.88	\$ 15.40	\$ -	\$ 2,450.00	\$ 15.71
Game Room - Updating	\$ -	\$ 2,868.75	\$ 18.39	\$ -	\$ 2,925.00	\$ 18.75
Excercise Room - Refurbish	\$ -	\$ 892.50	\$ 5.72	\$ -	\$ 910.00	\$ 5.83
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 45,364.50	\$ 290.80	\$ -	\$ 46,254.00	\$ 296.50
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 13,609.35	\$ 87.24	\$ -	\$ 13,876.20	\$ 88.95
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 6,709.56	\$ 43.01	\$ -	\$ 6,841.12	\$ 43.85
Walkway Lights	\$ -	\$ 1,020.00	\$ 6.54	\$ -	\$ 1,040.00	\$ 6.67
Trash Chutes	\$ -	\$ 3,060.00	\$ 19.62	\$ -	\$ 3,120.00	\$ 20.00
Stairwells	\$ -	\$ 191.25	\$ 1.23	\$ -	\$ 195.00	\$ 1.25
Mechanical - Elevator	\$ -	\$ 23,791.50	\$ 152.51	\$ -	\$ 24,258.00	\$ 155.50
Mechanical - HVAC	\$ -	\$ 1,201.44	\$ 7.70	\$ -	\$ 1,225.00	\$ 7.85
Game Room - Updating	\$ -	\$ 1,434.38	\$ 9.19	\$ -	\$ 1,462.50	\$ 9.38
Excercise Room - Refurbish	\$ -	\$ 446.25	\$ 2.86	\$ -	\$ 455.00	\$ 2.92
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,275.00	\$ 8.17	\$ -	\$ 1,300.00	\$ 8.33
26 32 10 Mechanical - Generator	\$ -	\$ 1,700.00	\$ 10.90	\$ -	\$ 1,733.33	\$ 11.11
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,550.00	\$ 16.35	\$ 40,500.00	\$ 2,600.00	\$ 16.67
10 82 00 Barbeque Grill	\$ -	\$ 102.00	\$ 0.65	\$ -	\$ 104.00	\$ 0.67
10 75 00 Flag Pole	\$ -	\$ 191.25	\$ 1.23	\$ -	\$ 195.00	\$ 1.25
32 31 00 Tennis Court Fence	\$ -	\$ 3,106.54	\$ 19.91	\$ -	\$ 3,167.45	\$ 20.30
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,071.11	\$ 13.28	\$ -	\$ 2,111.72	\$ 13.54
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 4,660.00	\$ 29.87	\$ -	\$ 4,751.37	\$ 30.46
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 23,721.95	\$ 152.06	\$ -	\$ 24,187.09	\$ 155.05
32 11 70 Asphalt - Reseal	\$ -	\$ 13,047.08	\$ 83.64	\$ 69,072.75	\$ 13,302.90	\$ 85.28
35 01 30 Boardwalks - Beach	\$ -	\$ 2,823.36	\$ 18.10	\$ -	\$ 2,878.72	\$ 18.45
35 01 30 Boardwalk - Rear	\$ -	\$ 2,550.00	\$ 16.35	\$ -	\$ 2,600.00	\$ 16.67
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 477.36	\$ 3.06	\$ -	\$ 486.72	\$ 3.12
13 11 00 Pool Deck	\$ -	\$ 2,546.87	\$ 16.33	\$ -	\$ 2,596.80	\$ 16.65
13 01 11 Pool Finishes	\$ -	\$ 2,763.89	\$ 17.72	\$ -	\$ 2,818.09	\$ 18.06
22 60 00 Pool Equipment	\$ -	\$ 1,466.25	\$ 9.40	\$ -	\$ 1,495.00	\$ 9.58
22 60 00 Pool Heaters	\$ -	\$ 2,295.00	\$ 14.71	\$ -	\$ 2,340.00	\$ 15.00
10 28 00 Common Area Bathrooms	\$ -	\$ 750.00	\$ 4.81	\$ -	\$ 764.71	\$ 4.90
Total	\$ -	\$ 374,932.94	\$ 2,403.42	\$ 109,572.75	\$ 382,284.56	\$ 2,450.54

Year Number	15			16		
Year	2039			2040		
Starting Reserve Balance	\$549,118.19			-\$449,102.72		
Ending Reserve Balance	\$938,754.38			-\$52,114.90		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 94,287.00	\$ 604.40	\$ -	\$ 96,066.00	\$ 615.81
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 28,286.10	\$ 181.32	\$ -	\$ 28,819.80	\$ 184.74
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 13,945.36	\$ 89.39	\$ -	\$ 14,208.48	\$ 91.08
Walkway Lights	\$ -	\$ 2,120.00	\$ 13.59	\$ -	\$ 2,160.00	\$ 13.85
Trash Chutes	\$ -	\$ 6,360.00	\$ 40.77	\$ -	\$ 6,480.00	\$ 41.54
Stairwells	\$ -	\$ 397.50	\$ 2.55	\$ -	\$ 405.00	\$ 2.60
Mechanical - Elevator Modernization	\$ 1,723,700.00	\$ 66,440.80	\$ 425.90	\$ -	\$ 67,694.40	\$ 433.94
Mechanical - HVAC	\$ -	\$ 2,497.12	\$ 16.01	\$ -	\$ 2,544.23	\$ 16.31
Game Room - Updating	\$ -	\$ 2,981.25	\$ 19.11	\$ -	\$ 3,037.50	\$ 19.47
Excercise Room - Refurbish	\$ 9,625.00	\$ 927.50	\$ 5.95	\$ -	\$ 945.00	\$ 6.06
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 47,143.50	\$ 302.20	\$ -	\$ 48,033.00	\$ 307.90
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 14,143.05	\$ 90.66	\$ 747,180.00	\$ 14,409.90	\$ 92.37
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 6,972.68	\$ 44.70	\$ 368,368.00	\$ 7,104.24	\$ 45.54
Walkway Lights	\$ -	\$ 1,060.00	\$ 6.79	\$ -	\$ 1,080.00	\$ 6.92
Trash Chutes	\$ -	\$ 3,180.00	\$ 20.38	\$ 168,000.00	\$ 3,240.00	\$ 20.77
Stairwells	\$ -	\$ 198.75	\$ 1.27	\$ 10,500.00	\$ 202.50	\$ 1.30
Mechanical - Elevator	\$ -	\$ 24,724.50	\$ 158.49	\$ -	\$ 25,191.00	\$ 161.48
Mechanical - HVAC	\$ 16,843.75	\$ 1,248.56	\$ 8.00	\$ -	\$ 1,272.12	\$ 8.15
Game Room - Updating	\$ -	\$ 1,490.63	\$ 9.56	\$ -	\$ 1,518.75	\$ 9.74
Excercise Room - Refurbish	\$ 4,812.50	\$ 463.75	\$ 2.97	\$ -	\$ 472.50	\$ 3.03
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,325.00	\$ 8.49	\$ -	\$ 1,350.00	\$ 8.65
26 32 10 Mechanical - Generator	\$ -	\$ 1,766.67	\$ 11.32	\$ -	\$ 1,800.00	\$ 11.54
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,650.00	\$ 16.99	\$ -	\$ 2,700.00	\$ 17.31
10 82 00 Barbeque Grill	\$ 1,100.00	\$ 106.00	\$ 0.68	\$ -	\$ 108.00	\$ 0.69
10 75 00 Flag Pole	\$ -	\$ 198.75	\$ 1.27	\$ -	\$ 202.50	\$ 1.30
32 31 00 Tennis Court Fence	\$ -	\$ 3,228.36	\$ 20.69	\$ -	\$ 3,289.28	\$ 21.09
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,152.33	\$ 13.80	\$ 68,224.80	\$ 2,192.94	\$ 14.06
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 4,842.74	\$ 31.04	\$ 25,584.30	\$ 4,934.12	\$ 31.63
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 24,652.23	\$ 158.03	\$ -	\$ 25,117.36	\$ 161.01
32 11 70 Asphalt - Reseal	\$ -	\$ 13,558.73	\$ 86.91	\$ -	\$ 13,814.55	\$ 88.55
35 01 30 Boardwalks - Beach	\$ -	\$ 2,934.08	\$ 18.81	\$ -	\$ 2,989.44	\$ 19.16
35 01 30 Boardwalk - Rear	\$ -	\$ 2,650.00	\$ 16.99	\$ -	\$ 2,700.00	\$ 17.31
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 496.08	\$ 3.18	\$ -	\$ 505.44	\$ 3.24
13 11 00 Pool Deck	\$ -	\$ 2,646.74	\$ 16.97	\$ -	\$ 2,696.68	\$ 17.29
13 01 11 Pool Finishes	\$ 53,652.06	\$ 2,872.28	\$ 18.41	\$ -	\$ 2,926.48	\$ 18.76
22 60 00 Pool Equipment	\$ -	\$ 1,523.75	\$ 9.77	\$ -	\$ 1,552.50	\$ 9.95
22 60 00 Pool Heaters	\$ 24,750.00	\$ 2,385.00	\$ 15.29	\$ -	\$ 2,430.00	\$ 15.58
10 28 00 Common Area Bathrooms	\$ -	\$ 779.41	\$ 5.00	\$ -	\$ 794.12	\$ 5.09
Total	\$1,834,483.31	\$389,636.19	\$ 2,497.67	\$1,387,857.10	\$396,987.82	\$ 2,544.79

Year Number	17			18		
Year	2041			2042		
Starting Reserve Balance	-\$1,573,159.90			-\$1,168,820.46		
Ending Reserve Balance	-\$1,168,820.46			-\$757,129.40		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 1,014,030.00	\$ 97,845.00	\$ 627.21	\$ -	\$ 99,624.00	\$ 638.62
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 29,353.50	\$ 188.16	\$ -	\$ 29,887.20	\$ 191.58
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 14,471.60	\$ 92.77	\$ -	\$ 14,734.72	\$ 94.45
Walkway Lights	\$ -	\$ 2,200.00	\$ 14.10	\$ -	\$ 2,240.00	\$ 14.36
Trash Chutes	\$ -	\$ 6,600.00	\$ 42.31	\$ -	\$ 6,720.00	\$ 43.08
Stairwells	\$ -	\$ 412.50	\$ 2.64	\$ -	\$ 420.00	\$ 2.69
Mechanical - Elevator Modernization	\$ -	\$ 68,948.00	\$ 441.97	\$ -	\$ 70,201.60	\$ 450.01
Mechanical - HVAC	\$ -	\$ 2,591.35	\$ 16.61	\$ -	\$ 2,638.46	\$ 16.91
Game Room - Updating	\$ -	\$ 3,093.75	\$ 19.83	\$ -	\$ 3,150.00	\$ 20.19
Exercise Room - Refurbish	\$ -	\$ 962.50	\$ 6.17	\$ -	\$ 980.00	\$ 6.28
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 507,015.00	\$ 48,922.50	\$ 313.61	\$ -	\$ 49,812.00	\$ 319.31
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 14,676.75	\$ 94.08	\$ -	\$ 14,943.60	\$ 95.79
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 7,235.80	\$ 46.38	\$ -	\$ 7,367.36	\$ 47.23
Walkway Lights	\$ -	\$ 1,100.00	\$ 7.05	\$ -	\$ 1,120.00	\$ 7.18
Trash Chutes	\$ -	\$ 3,300.00	\$ 21.15	\$ -	\$ 3,360.00	\$ 21.54
Stairwells	\$ -	\$ 206.25	\$ 1.32	\$ -	\$ 210.00	\$ 1.35
Mechanical - Elevator	\$ -	\$ 25,657.50	\$ 164.47	\$ -	\$ 26,124.00	\$ 167.46
Mechanical - HVAC	\$ -	\$ 1,295.67	\$ 8.31	\$ -	\$ 1,319.23	\$ 8.46
Game Room - Updating	\$ -	\$ 1,546.88	\$ 9.92	\$ -	\$ 1,575.00	\$ 10.10
Exercise Room - Refurbish	\$ -	\$ 481.25	\$ 3.08	\$ -	\$ 490.00	\$ 3.14
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,375.00	\$ 8.81	\$ -	\$ 1,400.00	\$ 8.97
26 32 10 Mechanical - Generator	\$ -	\$ 1,833.33	\$ 11.75	\$ -	\$ 1,866.67	\$ 11.97
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,750.00	\$ 17.63	\$ -	\$ 2,800.00	\$ 17.95
10 82 00 Barbeque Grill	\$ -	\$ 110.00	\$ 0.71	\$ -	\$ 112.00	\$ 0.72
10 75 00 Flag Pole	\$ -	\$ 206.25	\$ 1.32	\$ -	\$ 210.00	\$ 1.35
32 31 00 Tennis Court Fence	\$ -	\$ 3,350.19	\$ 21.48	\$ -	\$ 3,411.10	\$ 21.87
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,233.55	\$ 14.32	\$ -	\$ 2,274.16	\$ 14.58
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 5,025.49	\$ 32.21	\$ -	\$ 5,116.86	\$ 32.80
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 25,582.50	\$ 163.99	\$ -	\$ 26,047.64	\$ 166.97
32 11 70 Asphalt - Reseal	\$ -	\$ 14,070.38	\$ 90.19	\$ -	\$ 14,326.20	\$ 91.83
35 01 30 Boardwalks - Beach	\$ -	\$ 3,044.80	\$ 19.52	\$ -	\$ 3,100.16	\$ 19.87
35 01 30 Boardwalk - Rear	\$ -	\$ 2,750.00	\$ 17.63	\$ -	\$ 2,800.00	\$ 17.95
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 514.80	\$ 3.30	\$ -	\$ 524.16	\$ 3.36
13 11 00 Pool Deck	\$ -	\$ 2,746.62	\$ 17.61	\$ -	\$ 2,796.56	\$ 17.93
13 01 11 Pool Finishes	\$ -	\$ 2,980.67	\$ 19.11	\$ -	\$ 3,034.86	\$ 19.45
22 60 00 Pool Equipment	\$ -	\$ 1,581.25	\$ 10.14	\$ -	\$ 1,610.00	\$ 10.32
22 60 00 Pool Heaters	\$ -	\$ 2,475.00	\$ 15.87	\$ -	\$ 2,520.00	\$ 16.15
10 28 00 Common Area Bathrooms	\$ -	\$ 808.82	\$ 5.18	\$ -	\$ 823.53	\$ 5.28
Total	\$ 1,521,045.00	\$ 404,339.44	\$ 2,591.92	\$ -	\$ 411,691.07	\$ 2,639.05

Year Number	19			20		
Year	2043			2044		
Starting Reserve Balance	-\$832,597.77			-\$467,555.08		
Ending Reserve Balance	-\$413,555.08			-\$41,160.76		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 101,403.00	\$ 650.02	\$ -	\$ 103,182.00	\$ 661.42
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 30,420.90	\$ 195.01	\$ -	\$ 30,954.60	\$ 198.43
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 14,997.84	\$ 96.14	\$ -	\$ 15,260.96	\$ 97.83
Walkway Lights	\$ -	\$ 2,280.00	\$ 14.62	\$ 36,000.00	\$ 2,320.00	\$ 14.87
Trash Chutes	\$ -	\$ 6,840.00	\$ 43.85	\$ -	\$ 6,960.00	\$ 44.62
Stairwells	\$ -	\$ 427.50	\$ 2.74	\$ -	\$ 435.00	\$ 2.79
Mechanical - Elevator Modernization	\$ -	\$ 71,455.20	\$ 458.05	\$ -	\$ 72,708.80	\$ 466.08
Mechanical - HVAC	\$ -	\$ 2,685.58	\$ 17.22	\$ -	\$ 2,732.69	\$ 17.52
Game Room - Updating	\$ -	\$ 3,206.25	\$ 20.55	\$ -	\$ 3,262.50	\$ 20.91
Exercise Room - Refurbish	\$ -	\$ 997.50	\$ 6.39	\$ -	\$ 1,015.00	\$ 6.51
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 50,701.50	\$ 325.01	\$ -	\$ 51,591.00	\$ 330.71
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 15,210.45	\$ 97.50	\$ -	\$ 15,477.30	\$ 99.21
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 7,498.92	\$ 48.07	\$ -	\$ 7,630.48	\$ 48.91
Walkway Lights	\$ -	\$ 1,140.00	\$ 7.31	\$ 18,000.00	\$ 1,160.00	\$ 7.44
Trash Chutes	\$ -	\$ 3,420.00	\$ 21.92	\$ -	\$ 3,480.00	\$ 22.31
Stairwells	\$ -	\$ 213.75	\$ 1.37	\$ -	\$ 217.50	\$ 1.39
Mechanical - Elevator	\$ -	\$ 26,590.50	\$ 170.45	\$ -	\$ 27,057.00	\$ 173.44
Mechanical - HVAC	\$ -	\$ 1,342.79	\$ 8.61	\$ -	\$ 1,366.35	\$ 8.76
Game Room - Updating	\$ -	\$ 1,603.13	\$ 10.28	\$ -	\$ 1,631.25	\$ 10.46
Exercise Room - Refurbish	\$ -	\$ 498.75	\$ 3.20	\$ -	\$ 507.50	\$ 3.25
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,425.00	\$ 9.13	\$ -	\$ 1,450.00	\$ 9.29
26 32 10 Mechanical - Generator	\$ -	\$ 1,900.00	\$ 12.18	\$ -	\$ 1,933.33	\$ 12.39
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,850.00	\$ 18.27	\$ -	\$ 2,900.00	\$ 18.59
10 82 00 Barbeque Grill	\$ -	\$ 114.00	\$ 0.73	\$ -	\$ 116.00	\$ 0.74
10 75 00 Flag Pole	\$ -	\$ 213.75	\$ 1.37	\$ -	\$ 217.50	\$ 1.39
32 31 00 Tennis Court Fence	\$ -	\$ 3,472.01	\$ 22.26	\$ -	\$ 3,532.93	\$ 22.65
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,314.77	\$ 14.84	\$ -	\$ 2,355.38	\$ 15.10
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 5,208.23	\$ 33.39	\$ -	\$ 5,299.61	\$ 33.97
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 26,512.77	\$ 169.95	\$ -	\$ 26,977.91	\$ 172.94
32 11 70 Asphalt - Reseal	\$ 75,468.38	\$ 14,582.03	\$ 93.47	\$ -	\$ 14,837.85	\$ 95.11
35 01 30 Boardwalks - Beach	\$ -	\$ 3,155.52	\$ 20.23	\$ -	\$ 3,210.88	\$ 20.58
35 01 30 Boardwalk - Rear	\$ -	\$ 2,850.00	\$ 18.27	\$ -	\$ 2,900.00	\$ 18.59
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 533.52	\$ 3.42	\$ -	\$ 542.88	\$ 3.48
13 11 00 Pool Deck	\$ -	\$ 2,846.50	\$ 18.25	\$ -	\$ 2,896.44	\$ 18.57
13 01 11 Pool Finishes	\$ -	\$ 3,089.06	\$ 19.80	\$ -	\$ 3,143.25	\$ 20.15
22 60 00 Pool Equipment	\$ -	\$ 1,638.75	\$ 10.50	\$ -	\$ 1,667.50	\$ 10.69
22 60 00 Pool Heaters	\$ -	\$ 2,565.00	\$ 16.44	\$ -	\$ 2,610.00	\$ 16.73
10 28 00 Common Area Bathrooms	\$ -	\$ 838.24	\$ 5.37	\$ -	\$ 852.94	\$ 5.47
Total	\$ 75,468.38	\$ 419,042.69	\$ 2,686.17	\$ 54,000.00	\$ 426,394.32	\$ 2,733.30

Year Number	21			22		
Year	2045			2046		
Starting Reserve Balance	-\$442,135.87			-\$46,155.67		
Ending Reserve Balance	-\$8,389.92			\$394,941.90		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 104,961.00	\$ 672.83	\$ -	\$ 106,740.00	\$ 684.23
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 31,488.30	\$ 201.85	\$ -	\$ 32,022.00	\$ 205.27
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 15,524.08	\$ 99.51	\$ -	\$ 15,787.20	\$ 101.20
Walkway Lights	\$ -	\$ 2,360.00	\$ 15.13	\$ -	\$ 2,400.00	\$ 15.38
Trash Chutes	\$ -	\$ 7,080.00	\$ 45.38	\$ -	\$ 7,200.00	\$ 46.15
Stairwells	\$ -	\$ 442.50	\$ 2.84	\$ -	\$ 450.00	\$ 2.88
Mechanical - Elevator Modernization	\$ -	\$ 73,962.40	\$ 474.12	\$ -	\$ 75,216.00	\$ 482.15
Mechanical - HVAC	\$ -	\$ 2,779.81	\$ 17.82	\$ -	\$ 2,826.92	\$ 18.12
Game Room - Updating	\$ -	\$ 3,318.75	\$ 21.27	\$ -	\$ 3,375.00	\$ 21.63
Excercise Room - Refurbish	\$ -	\$ 1,032.50	\$ 6.62	\$ -	\$ 1,050.00	\$ 6.73
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 52,480.50	\$ 336.41	\$ -	\$ 53,370.00	\$ 342.12
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 15,744.15	\$ 100.92	\$ -	\$ 16,011.00	\$ 102.63
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 7,762.04	\$ 49.76	\$ -	\$ 7,893.60	\$ 50.60
Walkway Lights	\$ -	\$ 1,180.00	\$ 7.56	\$ -	\$ 1,200.00	\$ 7.69
Trash Chutes	\$ -	\$ 3,540.00	\$ 22.69	\$ -	\$ 3,600.00	\$ 23.08
Stairwells	\$ -	\$ 221.25	\$ 1.42	\$ -	\$ 225.00	\$ 1.44
Mechanical - Elevator	\$ -	\$ 27,523.50	\$ 176.43	\$ -	\$ 27,990.00	\$ 179.42
Mechanical - HVAC	\$ -	\$ 1,389.90	\$ 8.91	\$ -	\$ 1,413.46	\$ 9.06
Game Room - Updating	\$ -	\$ 1,659.38	\$ 10.64	\$ -	\$ 1,687.50	\$ 10.82
Excercise Room - Refurbish	\$ -	\$ 516.25	\$ 3.31	\$ -	\$ 525.00	\$ 3.37
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,475.00	\$ 9.46	\$ -	\$ 1,500.00	\$ 9.62
26 32 10 Mechanical - Generator	\$ 61,000.00	\$ 1,966.67	\$ 12.61	\$ -	\$ 2,000.00	\$ 12.82
32 50 00 Entrance Barrier Gate System	\$ -	\$ 2,950.00	\$ 18.91	\$ -	\$ 3,000.00	\$ 19.23
10 82 00 Barbeque Grill	\$ -	\$ 118.00	\$ 0.76	\$ -	\$ 120.00	\$ 0.77
10 75 00 Flag Pole	\$ -	\$ 221.25	\$ 1.42	\$ -	\$ 225.00	\$ 1.44
32 31 00 Tennis Court Fence	\$ -	\$ 3,593.84	\$ 23.04	\$ 37,765.75	\$ 3,654.75	\$ 23.43
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,395.99	\$ 15.36	\$ -	\$ 2,436.60	\$ 15.62
32 18 23.53 Tennis Court - Resurface	\$ 27,868.61	\$ 5,390.98	\$ 34.56	\$ -	\$ 5,482.35	\$ 35.14
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ 312,106.50	\$ 27,443.05	\$ 175.92	\$ -	\$ 27,908.18	\$ 178.90
32 11 70 Asphalt - Reseal	\$ -	\$ 15,093.68	\$ 96.75	\$ -	\$ 15,349.50	\$ 98.39
35 01 30 Boardwalks - Beach	\$ -	\$ 3,266.24	\$ 20.94	\$ -	\$ 3,321.60	\$ 21.29
35 01 30 Boardwalk - Rear	\$ -	\$ 2,950.00	\$ 18.91	\$ -	\$ 3,000.00	\$ 19.23
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 552.24	\$ 3.54	\$ -	\$ 561.60	\$ 3.60
13 11 00 Pool Deck	\$ -	\$ 2,946.37	\$ 18.89	\$ -	\$ 2,996.31	\$ 19.21
13 01 11 Pool Finishes	\$ -	\$ 3,197.45	\$ 20.50	\$ -	\$ 3,251.64	\$ 20.84
22 60 00 Pool Equipment	\$ -	\$ 1,696.25	\$ 10.87	\$ -	\$ 1,725.00	\$ 11.06
22 60 00 Pool Heaters	\$ -	\$ 2,655.00	\$ 17.02	\$ -	\$ 2,700.00	\$ 17.31
10 28 00 Common Area Bathrooms	\$ -	\$ 867.65	\$ 5.56	\$ -	\$ 882.35	\$ 5.66
Total	\$ 400,975.11	\$ 433,745.95	\$ 2,780.42	\$ 37,765.75	\$ 441,097.57	\$ 2,827.55

Year Number	23			24		
Year	2047			2048		
Starting Reserve Balance	\$394,941.90			\$761,527.10		
Ending Reserve Balance	\$843,391.10			\$1,217,327.92		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 108,519.00	\$ 695.63	\$ -	\$ 110,298.00	\$ 707.04
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 32,555.70	\$ 208.69	\$ -	\$ 33,089.40	\$ 212.11
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 16,050.32	\$ 102.89	\$ -	\$ 16,313.44	\$ 104.57
Walkway Lights	\$ -	\$ 2,440.00	\$ 15.64	\$ -	\$ 2,480.00	\$ 15.90
Trash Chutes	\$ -	\$ 7,320.00	\$ 46.92	\$ -	\$ 7,440.00	\$ 47.69
Stairwells	\$ -	\$ 457.50	\$ 2.93	\$ -	\$ 465.00	\$ 2.98
Mechanical - Elevator Modernization	\$ -	\$ 76,469.60	\$ 490.19	\$ -	\$ 77,723.20	\$ 498.23
Mechanical - HVAC	\$ -	\$ 2,874.04	\$ 18.42	\$ -	\$ 2,921.15	\$ 18.73
Game Room - Updating	\$ -	\$ 3,431.25	\$ 22.00	\$ -	\$ 3,487.50	\$ 22.36
Excercise Room - Refurbish	\$ -	\$ 1,067.50	\$ 6.84	\$ -	\$ 1,085.00	\$ 6.96
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 54,259.50	\$ 347.82	\$ -	\$ 55,149.00	\$ 353.52
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 16,277.85	\$ 104.35	\$ -	\$ 16,544.70	\$ 106.06
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 8,025.16	\$ 51.44	\$ -	\$ 8,156.72	\$ 52.29
Walkway Lights	\$ -	\$ 1,220.00	\$ 7.82	\$ -	\$ 1,240.00	\$ 7.95
Trash Chutes	\$ -	\$ 3,660.00	\$ 23.46	\$ -	\$ 3,720.00	\$ 23.85
Stairwells	\$ -	\$ 228.75	\$ 1.47	\$ -	\$ 232.50	\$ 1.49
Mechanical - Elevator	\$ -	\$ 28,456.50	\$ 182.41	\$ -	\$ 28,923.00	\$ 185.40
Mechanical - HVAC	\$ -	\$ 1,437.02	\$ 9.21	\$ -	\$ 1,460.58	\$ 9.36
Game Room - Updating	\$ -	\$ 1,715.63	\$ 11.00	\$ -	\$ 1,743.75	\$ 11.18
Excercise Room - Refurbish	\$ -	\$ 533.75	\$ 3.42	\$ -	\$ 542.50	\$ 3.48
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,525.00	\$ 9.78	\$ -	\$ 1,550.00	\$ 9.94
26 32 10 Mechanical - Generator	\$ -	\$ 2,033.33	\$ 13.03	\$ -	\$ 2,066.67	\$ 13.25
32 50 00 Entrance Barrier Gate System	\$ -	\$ 3,050.00	\$ 19.55	\$ -	\$ 3,100.00	\$ 19.87
10 82 00 Barbeque Grill	\$ -	\$ 122.00	\$ 0.78	\$ -	\$ 124.00	\$ 0.79
10 75 00 Flag Pole	\$ -	\$ 228.75	\$ 1.47	\$ -	\$ 232.50	\$ 1.49
32 31 00 Tennis Court Fence	\$ -	\$ 3,715.66	\$ 23.82	\$ -	\$ 3,776.58	\$ 24.21
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,477.21	\$ 15.88	\$ -	\$ 2,517.82	\$ 16.14
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 5,573.72	\$ 35.73	\$ -	\$ 5,665.10	\$ 36.31
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 28,373.32	\$ 181.88	\$ -	\$ 28,838.45	\$ 184.86
32 11 70 Asphalt - Reseal	\$ -	\$ 15,605.33	\$ 100.03	\$ 81,864.00	\$ 15,861.15	\$ 101.67
35 01 30 Boardwalks - Beach	\$ -	\$ 3,376.96	\$ 21.65	\$ -	\$ 3,432.32	\$ 22.00
35 01 30 Boardwalk - Rear	\$ -	\$ 3,050.00	\$ 19.55	\$ -	\$ 3,100.00	\$ 19.87
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 570.96	\$ 3.66	\$ -	\$ 580.32	\$ 3.72
13 11 00 Pool Deck	\$ -	\$ 3,046.25	\$ 19.53	\$ -	\$ 3,096.19	\$ 19.85
13 01 11 Pool Finishes	\$ -	\$ 3,305.83	\$ 21.19	\$ -	\$ 3,360.03	\$ 21.54
22 60 00 Pool Equipment	\$ -	\$ 1,753.75	\$ 11.24	\$ -	\$ 1,782.50	\$ 11.43
22 60 00 Pool Heaters	\$ -	\$ 2,745.00	\$ 17.60	\$ -	\$ 2,790.00	\$ 17.88
10 28 00 Common Area Bathrooms	\$ -	\$ 897.06	\$ 5.75	\$ -	\$ 911.76	\$ 5.84
Total	\$ -	\$ 448,449.20	\$ 2,874.67	\$ 81,864.00	\$ 455,800.82	\$ 2,921.80

Year Number	25			26		
Year	2049			2050		
Starting Reserve Balance	\$1,039,942.92			\$1,472,942.45		
Ending Reserve Balance	\$1,503,095.37			\$1,943,446.53		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 112,077.00	\$ 718.44	\$ -	\$ 113,856.00	\$ 729.85
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 33,623.10	\$ 215.53	\$ -	\$ 34,156.80	\$ 218.95
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 16,576.56	\$ 106.26	\$ -	\$ 16,839.68	\$ 107.95
Walkway Lights	\$ -	\$ 2,520.00	\$ 16.15	\$ -	\$ 2,560.00	\$ 16.41
Trash Chutes	\$ -	\$ 7,560.00	\$ 48.46	\$ -	\$ 7,680.00	\$ 49.23
Stairwells	\$ -	\$ 472.50	\$ 3.03	\$ -	\$ 480.00	\$ 3.08
Mechanical - Elevator Modernization	\$ -	\$ 78,976.80	\$ 506.26	\$ -	\$ 80,230.40	\$ 514.30
Mechanical - HVAC	\$ 39,812.50	\$ 2,968.27	\$ 19.03	\$ -	\$ 3,015.38	\$ 19.33
Game Room - Updating	\$ -	\$ 3,543.75	\$ 22.72	\$ -	\$ 3,600.00	\$ 23.08
Exercise Room - Refurbish	\$ 11,375.00	\$ 1,102.50	\$ 7.07	\$ -	\$ 1,120.00	\$ 7.18
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 56,038.50	\$ 359.22	\$ -	\$ 56,928.00	\$ 364.92
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 16,811.55	\$ 107.77	\$ -	\$ 17,078.40	\$ 109.48
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 8,288.28	\$ 53.13	\$ -	\$ 8,419.84	\$ 53.97
Walkway Lights	\$ -	\$ 1,260.00	\$ 8.08	\$ -	\$ 1,280.00	\$ 8.21
Trash Chutes	\$ -	\$ 3,780.00	\$ 24.23	\$ -	\$ 3,840.00	\$ 24.62
Stairwells	\$ -	\$ 236.25	\$ 1.51	\$ -	\$ 240.00	\$ 1.54
Mechanical - Elevator	\$ -	\$ 29,389.50	\$ 188.39	\$ -	\$ 29,856.00	\$ 191.38
Mechanical - HVAC	\$ -	\$ 1,484.13	\$ 9.51	\$ -	\$ 1,507.69	\$ 9.66
Game Room - Updating	\$ -	\$ 1,771.88	\$ 11.36	\$ -	\$ 1,800.00	\$ 11.54
Exercise Room - Refurbish	\$ 5,687.50	\$ 551.25	\$ 3.53	\$ -	\$ 560.00	\$ 3.59
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,575.00	\$ 10.10	\$ -	\$ 1,600.00	\$ 10.26
26 32 10 Mechanical - Generator	\$ -	\$ 2,100.00	\$ 13.46	\$ -	\$ 2,133.33	\$ 13.68
32 50 00 Entrance Barrier Gate System	\$ -	\$ 3,150.00	\$ 20.19	\$ -	\$ 3,200.00	\$ 20.51
10 82 00 Barbeque Grill	\$ 1,300.00	\$ 126.00	\$ 0.81	\$ -	\$ 128.00	\$ 0.82
10 75 00 Flag Pole	\$ -	\$ 236.25	\$ 1.51	\$ -	\$ 240.00	\$ 1.54
32 31 00 Tennis Court Fence	\$ -	\$ 3,837.49	\$ 24.60	\$ -	\$ 3,898.40	\$ 24.99
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,558.43	\$ 16.40	\$ -	\$ 2,599.04	\$ 16.66
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 5,756.47	\$ 36.90	\$ 30,152.93	\$ 5,847.84	\$ 37.49
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 29,303.59	\$ 187.84	\$ -	\$ 29,768.73	\$ 190.83
32 11 70 Asphalt - Reseal	\$ -	\$ 16,116.98	\$ 103.31	\$ -	\$ 16,372.80	\$ 104.95
35 01 30 Boardwalks - Beach	\$ 89,960.00	\$ 3,487.68	\$ 22.36	\$ -	\$ 3,543.04	\$ 22.71
35 01 30 Boardwalk - Rear	\$ -	\$ 3,150.00	\$ 20.19	\$ -	\$ 3,200.00	\$ 20.51
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 589.68	\$ 3.78	\$ -	\$ 599.04	\$ 3.84
13 11 00 Pool Deck	\$ -	\$ 3,146.13	\$ 20.17	\$ -	\$ 3,196.07	\$ 20.49
13 01 11 Pool Finishes	\$ -	\$ 3,414.22	\$ 21.89	\$ -	\$ 3,468.42	\$ 22.23
22 60 00 Pool Equipment	\$ -	\$ 1,811.25	\$ 11.61	\$ -	\$ 1,840.00	\$ 11.79
22 60 00 Pool Heaters	\$ 29,250.00	\$ 2,835.00	\$ 18.17	\$ -	\$ 2,880.00	\$ 18.46
10 28 00 Common Area Bathrooms	\$ -	\$ 926.47	\$ 5.94	\$ -	\$ 941.18	\$ 6.03
Total	\$ 177,385.00	\$ 463,152.45	\$ 2,968.93	\$ 30,152.93	\$ 470,504.08	\$ 3,016.05

Year Number	27			28		
Year	2051			2052		
Starting Reserve Balance	\$194,313.28			\$651,343.99		
Ending Reserve Balance	\$672,168.99			\$1,136,551.32		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 1,191,930.00	\$ 115,635.00	\$ 741.25	\$ -	\$ 117,414.00	\$ 752.65
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 34,690.50	\$ 222.38	\$ -	\$ 35,224.20	\$ 225.80
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 17,102.80	\$ 109.63	\$ -	\$ 17,365.92	\$ 111.32
Walkway Lights	\$ -	\$ 2,600.00	\$ 16.67	\$ -	\$ 2,640.00	\$ 16.92
Trash Chutes	\$ -	\$ 7,800.00	\$ 50.00	\$ -	\$ 7,920.00	\$ 50.77
Stairwells	\$ -	\$ 487.50	\$ 3.13	\$ -	\$ 495.00	\$ 3.17
Mechanical - Elevator Modernization	\$ -	\$ 81,484.00	\$ 522.33	\$ -	\$ 82,737.60	\$ 530.37
Mechanical - HVAC	\$ -	\$ 3,062.50	\$ 19.63	\$ -	\$ 3,109.62	\$ 19.93
Game Room - Updating	\$ -	\$ 3,656.25	\$ 23.44	\$ -	\$ 3,712.50	\$ 23.80
Exercise Room - Refurbish	\$ -	\$ 1,137.50	\$ 7.29	\$ -	\$ 1,155.00	\$ 7.40
Building C	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Exterior Precast Concrete Railings -Catwalk - restoration	\$ 507,015.00	\$ 57,817.50	\$ 370.63	\$ -	\$ 58,707.00	\$ 376.33
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 17,345.25	\$ 111.19	\$ -	\$ 17,612.10	\$ 112.90
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 8,551.40	\$ 54.82	\$ -	\$ 8,682.96	\$ 55.66
Walkway Lights	\$ -	\$ 1,300.00	\$ 8.33	\$ -	\$ 1,320.00	\$ 8.46
Trash Chutes	\$ -	\$ 3,900.00	\$ 25.00	\$ -	\$ 3,960.00	\$ 25.38
Stairwells	\$ -	\$ 243.75	\$ 1.56	\$ -	\$ 247.50	\$ 1.59
Mechanical - Elevator	\$ -	\$ 30,322.50	\$ 194.38	\$ -	\$ 30,789.00	\$ 197.37
Mechanical - HVAC	\$ -	\$ 1,531.25	\$ 9.82	\$ 20,825.00	\$ 1,554.81	\$ 9.97
Game Room - Updating	\$ -	\$ 1,828.13	\$ 11.72	\$ -	\$ 1,856.25	\$ 11.90
Exercise Room - Refurbish	\$ -	\$ 568.75	\$ 3.65	\$ -	\$ 577.50	\$ 3.70
Common Area	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,625.00	\$ 10.42	\$ -	\$ 1,650.00	\$ 10.58
26 32 10 Mechanical - Generator	\$ -	\$ 2,166.67	\$ 13.89	\$ -	\$ 2,200.00	\$ 14.10
32 50 00 Entrance Barrier Gate System	\$ -	\$ 3,250.00	\$ 20.83	\$ -	\$ 3,300.00	\$ 21.15
10 82 00 Barbeque Grill	\$ -	\$ 130.00	\$ 0.83	\$ -	\$ 132.00	\$ 0.85
10 75 00 Flag Pole	\$ -	\$ 243.75	\$ 1.56	\$ -	\$ 247.50	\$ 1.59
32 31 00 Tennis Court Fence	\$ -	\$ 3,959.31	\$ 25.38	\$ -	\$ 4,020.23	\$ 25.77
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,639.65	\$ 16.92	\$ -	\$ 2,680.26	\$ 17.18
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 5,939.21	\$ 38.07	\$ -	\$ 6,030.59	\$ 38.66
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 30,233.86	\$ 193.81	\$ -	\$ 30,699.00	\$ 196.79
32 11 70 Asphalt - Reseal	\$ -	\$ 16,628.63	\$ 106.59	\$ -	\$ 16,884.45	\$ 108.23
35 01 30 Boardwalks - Beach	\$ -	\$ 3,598.40	\$ 23.07	\$ -	\$ 3,653.76	\$ 23.42
35 01 30 Boardwalk - Rear	\$ -	\$ 3,250.00	\$ 20.83	\$ -	\$ 3,300.00	\$ 21.15
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 608.40	\$ 3.90	\$ -	\$ 617.76	\$ 3.96
13 11 00 Pool Deck	\$ 50,188.24	\$ 3,246.01	\$ 20.81	\$ -	\$ 3,295.94	\$ 21.13
13 01 11 Pool Finishes	\$ -	\$ 3,522.61	\$ 22.58	\$ -	\$ 3,576.80	\$ 22.93
22 60 00 Pool Equipment	\$ -	\$ 1,868.75	\$ 11.98	\$ -	\$ 1,897.50	\$ 12.16
22 60 00 Pool Heaters	\$ -	\$ 2,925.00	\$ 18.75	\$ -	\$ 2,970.00	\$ 19.04
10 28 00 Common Area Bathrooms	\$ -	\$ 955.88	\$ 6.13	\$ -	\$ 970.59	\$ 6.22
Total	\$ 1,749,133.24	\$ 477,855.70	\$ 3,063.18	\$ 20,825.00	\$ 485,207.33	\$ 3,110.30

Year Number	29			30		
Year	2053			2054		
Starting Reserve Balance	\$979,291.69			\$1,216,595.65		
Ending Reserve Balance	\$1,471,850.65			\$1,716,506.23		
Component	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner	Annual Expense	Required Annual Contribution	Contribution Per Unit Owner
Building A and B						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 119,193.00	\$ 764.06	\$ -	\$ 120,972.00	\$ 775.46
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 35,757.90	\$ 229.22	\$ -	\$ 36,291.60	\$ 232.64
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 17,629.04	\$ 113.01	\$ -	\$ 17,892.16	\$ 114.69
Walkway Lights	\$ -	\$ 2,680.00	\$ 17.18	\$ -	\$ 2,720.00	\$ 17.44
Trash Chutes	\$ -	\$ 8,040.00	\$ 51.54	\$ -	\$ 8,160.00	\$ 52.31
Stairwells	\$ -	\$ 502.50	\$ 3.22	\$ -	\$ 510.00	\$ 3.27
Mechanical - Elevator Modernization	\$ -	\$ 83,991.20	\$ 538.41	\$ -	\$ 85,244.80	\$ 546.44
Mechanical - HVAC	\$ -	\$ 3,156.73	\$ 20.24	\$ -	\$ 3,203.85	\$ 20.54
Game Room - Updating	\$ -	\$ 3,768.75	\$ 24.16	\$ 78,750.00	\$ 3,825.00	\$ 24.52
Exercise Room - Refurbish	\$ -	\$ 1,172.50	\$ 7.52	\$ -	\$ 1,190.00	\$ 7.63
Building C						
Exterior Precast Concrete Railings -Catwalk - restoration	\$ -	\$ 59,596.50	\$ 382.03	\$ -	\$ 60,486.00	\$ 387.73
Exterior Precast Concrete Railings -Catwalk	\$ -	\$ 17,878.95	\$ 114.61	\$ -	\$ 18,145.80	\$ 116.32
05 73 00 Balcony Aluminum Railings - Replace	\$ -	\$ 8,814.52	\$ 56.50	\$ -	\$ 8,946.08	\$ 57.35
Walkway Lights	\$ -	\$ 1,340.00	\$ 8.59	\$ -	\$ 1,360.00	\$ 8.72
Trash Chutes	\$ -	\$ 4,020.00	\$ 25.77	\$ -	\$ 4,080.00	\$ 26.15
Stairwells	\$ -	\$ 251.25	\$ 1.61	\$ -	\$ 255.00	\$ 1.63
Mechanical - Elevator	\$ -	\$ 31,255.50	\$ 200.36	\$ -	\$ 31,722.00	\$ 203.35
Mechanical - HVAC	\$ -	\$ 1,578.37	\$ 10.12	\$ -	\$ 1,601.92	\$ 10.27
Game Room - Updating	\$ -	\$ 1,884.38	\$ 12.08	\$ 39,375.00	\$ 1,912.50	\$ 12.26
Exercise Room - Refurbish	\$ -	\$ 586.25	\$ 3.76	\$ -	\$ 595.00	\$ 3.81
Common Area						
22 12 00 Plumbing - Water Storage Tank	\$ -	\$ 1,675.00	\$ 10.74	\$ -	\$ 1,700.00	\$ 10.90
26 32 10 Mechanical - Generator	\$ 51,750.00	\$ 2,233.33	\$ 14.32	\$ -	\$ 2,266.67	\$ 14.53
32 50 00 Entrance Barrier Gate System	\$ -	\$ 3,350.00	\$ 21.47	\$ -	\$ 3,400.00	\$ 21.79
10 82 00 Barbeque Grill	\$ -	\$ 134.00	\$ 0.86	\$ -	\$ 136.00	\$ 0.87
10 75 00 Flag Pole	\$ -	\$ 251.25	\$ 1.61	\$ -	\$ 255.00	\$ 1.63
32 31 00 Tennis Court Fence	\$ -	\$ 4,081.14	\$ 26.16	\$ -	\$ 4,142.05	\$ 26.55
32 18 00 Tennis Court - Rebuild	\$ -	\$ 2,720.87	\$ 17.44	\$ -	\$ 2,761.48	\$ 17.70
32 18 23.53 Tennis Court - Resurface	\$ -	\$ 6,121.96	\$ 39.24	\$ -	\$ 6,213.33	\$ 39.83
32 14 00 Asphalt - Resurface 1" mill and overlay	\$ -	\$ 31,164.14	\$ 199.77	\$ -	\$ 31,629.27	\$ 202.75
32 11 70 Asphalt - Reseal	\$ 88,259.63	\$ 17,140.28	\$ 109.87	\$ -	\$ 17,396.10	\$ 111.51
35 01 30 Boardwalks - Beach	\$ -	\$ 3,709.12	\$ 23.78	\$ 96,880.00	\$ 3,764.48	\$ 24.13
35 01 30 Boardwalk - Rear	\$ -	\$ 3,350.00	\$ 21.47	\$ -	\$ 3,400.00	\$ 21.79
05 73 00 Exterior Aluminum Railings - Pool Deck - Replace	\$ -	\$ 627.12	\$ 4.02	\$ -	\$ 636.48	\$ 4.08
13 11 00 Pool Deck	\$ -	\$ 3,345.88	\$ 21.45	\$ -	\$ 3,395.82	\$ 21.77
13 01 11 Pool Finishes	\$ -	\$ 3,631.00	\$ 23.28	\$ -	\$ 3,685.19	\$ 23.62
22 60 00 Pool Equipment	\$ -	\$ 1,926.25	\$ 12.35	\$ 40,250.00	\$ 1,955.00	\$ 12.53
22 60 00 Pool Heaters	\$ -	\$ 3,015.00	\$ 19.33	\$ -	\$ 3,060.00	\$ 19.62
10 28 00 Common Area Bathrooms	\$ 17,250.00	\$ 985.29	\$ 6.32	\$ -	\$ 1,000.00	\$ 6.41
Total	\$157,259.63	\$492,558.96	\$ 3,157.43	\$ 255,255.00	\$499,910.58	\$ 3,204.56

Contribution per owner vs. Year

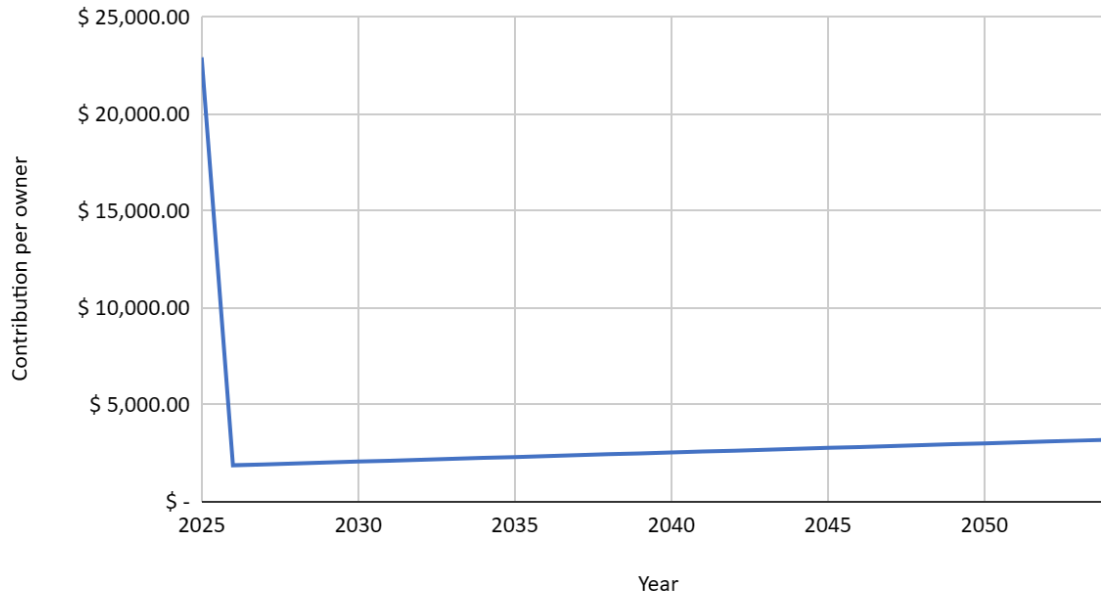


Fig. 1. Contribution Per Owner

Reserves Balance vs. Year

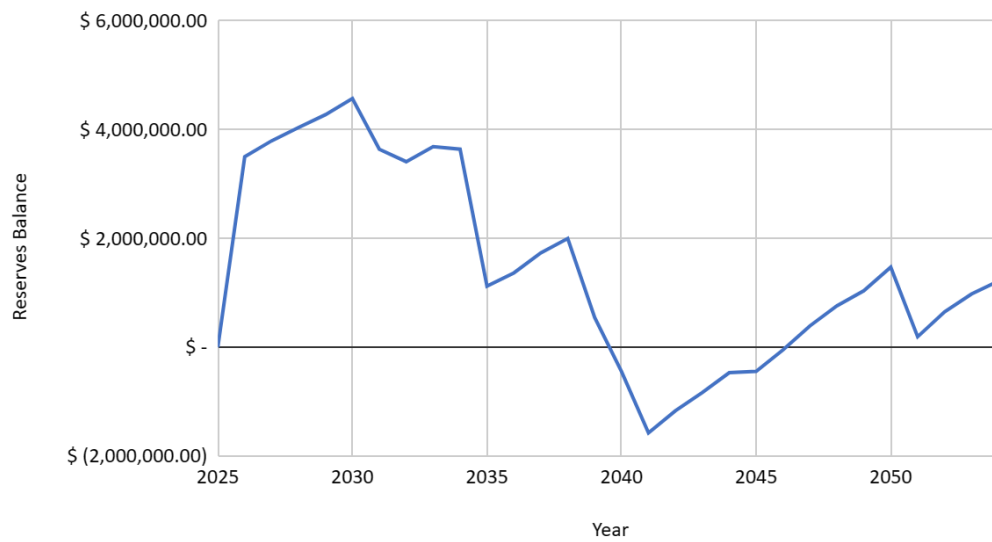


Fig. 2. Amount of Reserves Required per Year

Annual Expense vs. Year

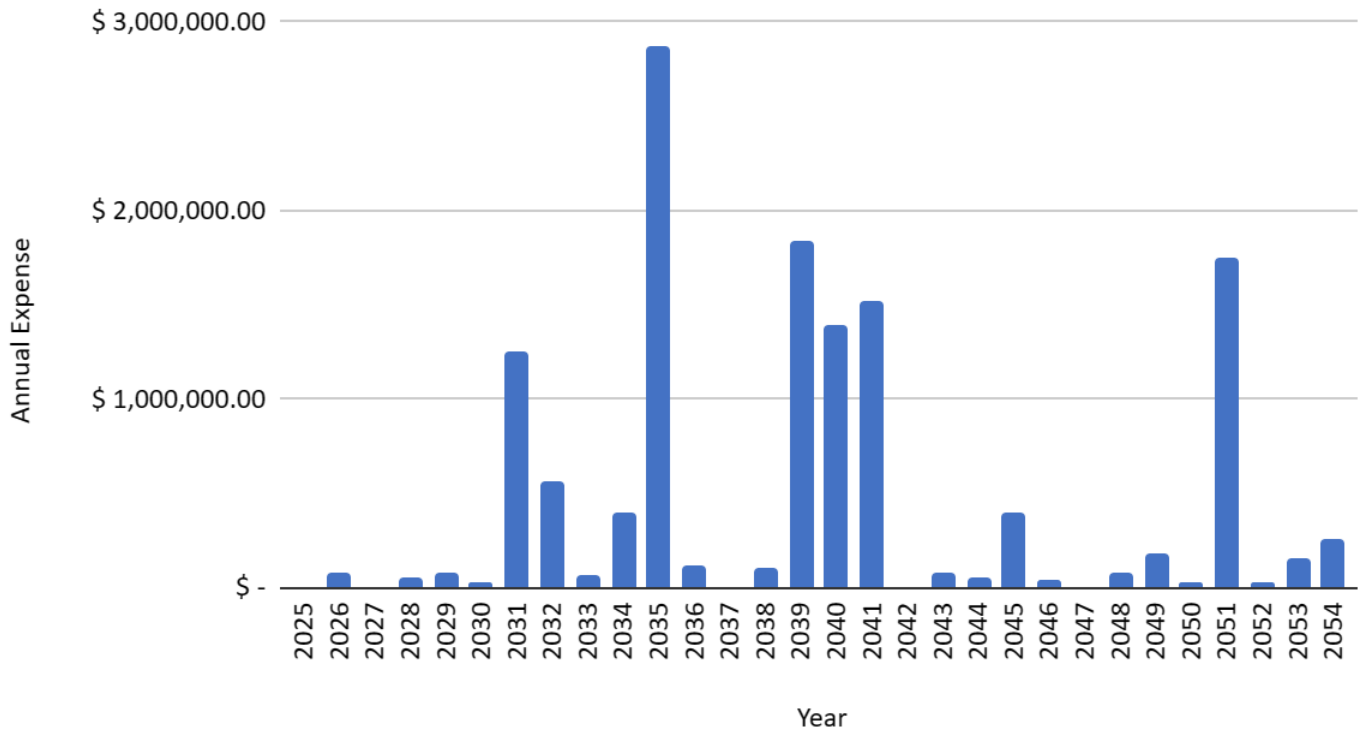


Fig. 3. Expenses Required per Year

Photos

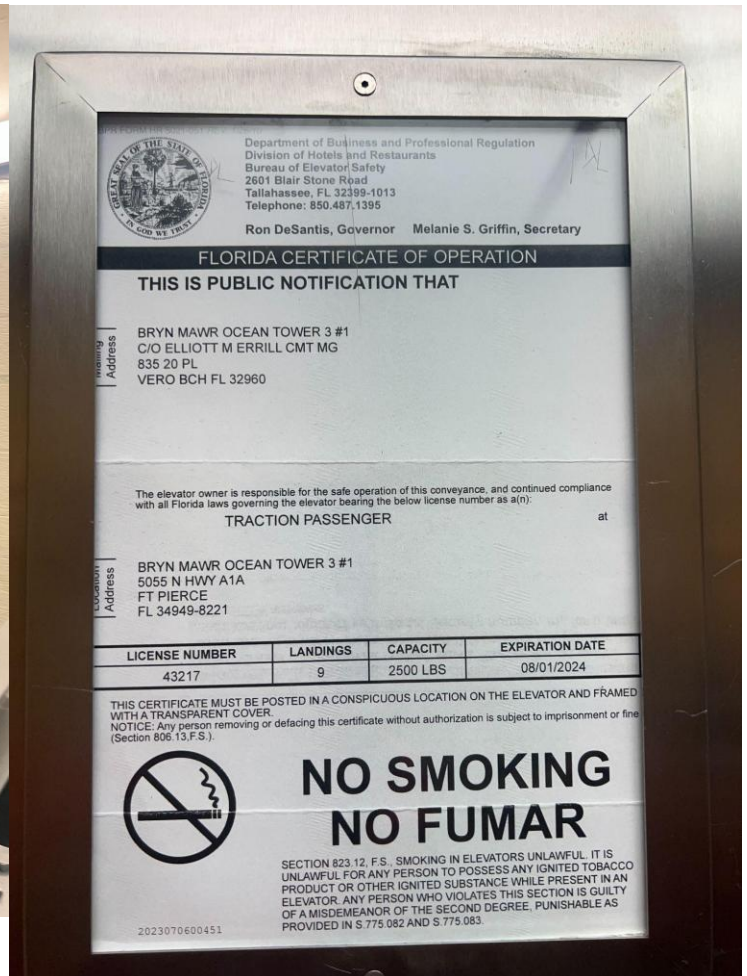
Air Conditioning: The air conditioning at Bryn Mawr Ocean Towers are controlled by their own individual A/C unit and are the responsibility of their respective owner. Some of these A/C units are very rusty and older, while some are very new. Another point to consider when reviewing the A/C units is the refrigerant line with armor flex, and the disconnects being rusty. That the power being supplied by disconnect has to meet the power of the disconnect itself. These units will most likely be replaced on a need basis and will be done by the owner.

Air conditioning units near the coast are subject to harsh environmental conditions that can affect their performance and lifespan. Salt, sand, humidity, and corrosion are some of the factors that can damage the components of the units and reduce their efficiency. To prevent these problems, it is important to choose the right type of air conditioning unit for coastal areas and to perform regular maintenance and cleaning. Some of the features to look for in an air conditioning unit for coastal areas are: stainless steel or aluminum casing, coated coils, sealed electrical connections, and high-efficiency filters. These features can help protect the unit from the elements and keep it running smoothly. Additionally, it is advisable to clean the unit at least once a month with fresh water and a soft brush to remove any dirt or salt buildup. A professional service should also be done at least once a year to check the refrigerant level, electrical components, and other parts of the unit. By following these tips, you can ensure that your air conditioning unit near the coast will provide you with optimal comfort and performance for years to come.



Elevator: A traction elevator is a type of elevator that uses ropes, pulleys and counterweights to move the car up and down the shaft. Traction elevators are suitable for apartment complexes because they can travel faster and higher than hydraulic elevators, which use a piston and a fluid to lift the car. Traction elevators also have lower energy consumption and maintenance costs than hydraulic elevators, as they do not require a separate machine room or a large oil reservoir. Traction elevators can be either geared or gearless, depending on the speed and capacity required. Geared traction elevators use a motor and a gearbox to drive the sheave, while gearless traction elevators use a direct-drive motor that is attached to the sheave. Both types of traction elevators have safety features such as brakes, speed governors and emergency stop buttons to ensure a smooth and secure ride for the passengers.

These elevators are meant to hold 2500 lbs individually and each have total stops of 9 floors. Their last inspection was 08/01/2023 and will be good for a year.

Department of Business and Professional Regulation
Division of Hotels and Restaurants
Bureau of Elevator Safety
2601 Blair Stone Road
Tallahassee, FL 32399-1013
Telephone: 850.487.1395
Ron DeSantis, Governor Melanie S. Griffin, Secretary

FLORIDA CERTIFICATE OF OPERATION
THIS IS PUBLIC NOTIFICATION THAT


Location Address
BRYN MAWR OCEAN TOWER 3 #1
C/O ELLIOTT M ERRILL CMT MG
835 20 PL
VERO BCH FL 32960

The elevator owner is responsible for the safe operation of this conveyance, and continued compliance with all Florida laws governing the elevator bearing the below license number as a(n):
TRACTION PASSENGER at

Location Address
BRYN MAWR OCEAN TOWER 3 #1
5055 N HWY A1A
FT PIERCE
FL 34949-8221

LICENSE NUMBER	LANDINGS	CAPACITY	EXPIRATION DATE
43217	9	2500 LBS	08/01/2024

THIS CERTIFICATE MUST BE POSTED IN A CONSPICUOUS LOCATION ON THE ELEVATOR AND FRAMED WITH A TRANSPARENT COVER.
NOTICE: Any person removing or defacing this certificate without authorization is subject to imprisonment or fine (Section 806.13.F.S.)

 **NO SMOKING
NO FUMAR**

SECTION 823.12, F.S. SMOKING IN ELEVATORS UNLAWFUL. IT IS UNLAWFUL FOR ANY PERSON TO POSSESS ANY IGNITED TOBACCO PRODUCT OR OTHER IGNITED SUBSTANCE WHILE PRESENT IN AN ELEVATOR. ANY PERSON WHO VIOLATES THIS SECTION IS GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE, PUNISHABLE AS PROVIDED IN S.775.082 AND S.775.083.

2023070600451

Generator - Replace: Generator at this location is tested weekly to ensure that it is in running condition. This generator is from 2014 and has no rusty parts on this generator that would lead to structural or system failure. Generators for condominiums are devices that provide backup power to residential units in case of a power outage. They can be installed either as a central system for the whole building or as individual units for each apartment. Generators for condominiums have several benefits, such as:

- Enhancing safety and security by keeping essential appliances and systems running, such as lights, refrigerators, elevators, fire alarms, and security cameras.
- Increasing comfort and convenience by allowing residents to use their electronic devices, such as TVs, computers, phones, and air conditioners.
- Reducing the risk of damage and loss by preventing food spoilage, water leakage, mold growth, and frozen pipes.

However, generators for condominiums also have some drawbacks, such as:

- High initial cost and maintenance expenses, especially for central systems that require professional installation and regular inspection.
- Noise and air pollution, especially for individual units that use gasoline or diesel as fuel sources.
- Potential safety hazards, such as fire, carbon monoxide poisoning, or electrocution, if not properly installed or operated.

Therefore, before choosing a generator for your condominium, you should consider the following factors:

- The size and power capacity of the generator, which should match the electrical load and demand of your unit or building.
- The fuel type and availability of the generator, which should suit your budget and environmental preferences.
- The location and ventilation of the generator, which should comply with the local codes and regulations and ensure adequate air circulation and noise reduction.

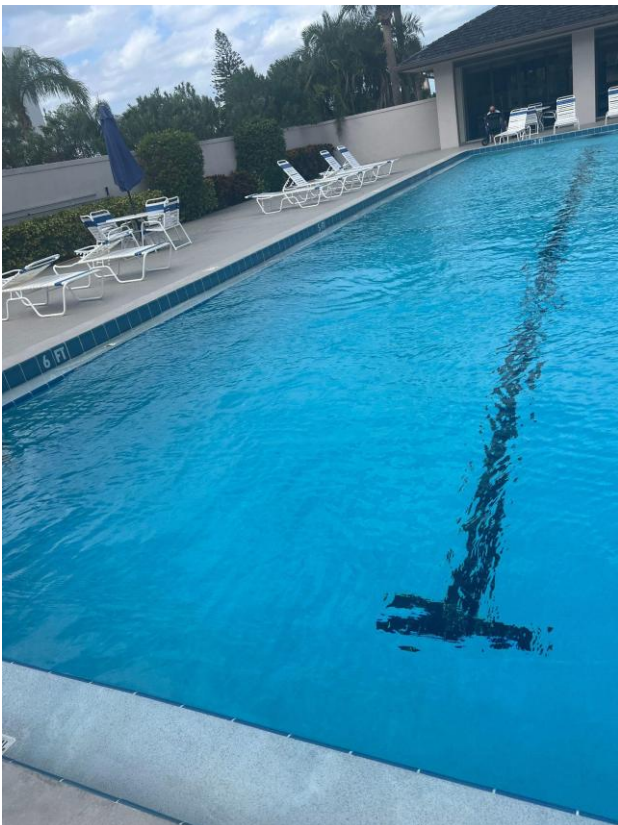


Pool - Update: This pool services all three buildings and comes with its own pool house. The pool shows some signs of small cracking in various places, but this shouldn't pose a threat to health and safety. The electrical panel did not raise any red flags like hot melted wires or severe rusting. (1) Propane heater, (2) electric heaters, (25) chairs, (2) round tables 42", and (2) outdoor showers are present at the pool area.

Swimming pools are a great amenity for apartment complexes, but they also require regular maintenance to keep them clean and safe. Some of the tasks involved in pool maintenance are:

- Checking and adjusting the water chemistry, such as pH, chlorine, and alkalinity levels, to prevent algae growth and corrosion.
- Skimming the surface and vacuuming the bottom of the pool to remove leaves, debris, and dirt.
- Cleaning the filter and pump basket to ensure proper water circulation and filtration.
- Brushing the walls and tiles of the pool to prevent calcium buildup and stains.
- Testing and inspecting the pool equipment, such as pumps, heaters, lights, and valves, to detect any malfunctions or leaks.
- Following the local health and safety regulations for public pools, such as posting signs, maintaining records, and reporting incidents.

Pool maintenance can be done by the apartment complex staff or by hiring a professional pool service company. Either way, it is important to have a regular schedule and a budget for pool maintenance, as well as a contingency plan for emergencies. A well-maintained pool can enhance the value and appeal of an apartment complex, as well as provide a fun and relaxing environment for the residents.



Tennis Court - Resurface: One of the most common problems that affect tennis courts is cracking. Cracks can form due to various factors, such as weather, soil movement, tree roots, or poor construction. Cracks can affect the playability and appearance of the court, and can also lead to further damage if left untreated. Therefore, it is important to resurface the tennis court periodically to prevent cracking and maintain its quality. Resurfacing involves removing the old surface layer, repairing any cracks or defects, and applying a new coating of acrylic material. Resurfacing can restore the smoothness, color, and durability of the court, and can also improve its drainage and traction. Resurfacing should be done by a professional contractor who has experience and expertise in tennis court construction and maintenance.

This tennis court, there may be a need for new fence poles. The bases of the poles are rusty and can sway in the wind or when pushed. These may need to be replaced or fixed soon, and when it comes to rust the sooner the better, although there is a period before they are rendered useless. The cracks shown here are small and are not as bad as other courts. There are different viewpoints on how soon the courts need to be resurfaced, but this is up to the housing association in the end. But to note, tennis courts were resurfaced 4 years ago and the fence was replaced 8 years ago.



Asphalt: Asphalt is a durable and cost-effective paving material that can last for many years if properly maintained. However, there are some factors that can cause asphalt to deteriorate and require resurfacing. Some of these factors are:

- Traffic volume and weight: Heavy vehicles and frequent traffic can cause cracks, ruts, and potholes in the asphalt surface, reducing its structural integrity and appearance.
- Weather conditions: Extreme temperatures, UV rays, moisture, and freeze-thaw cycles can damage the asphalt binder and aggregate, making the surface brittle and prone to cracking.
- Drainage issues: Poor drainage can lead to water seeping into the asphalt base and subgrade, weakening the foundation and causing heaving, sinking, or erosion.
- Age: Over time, asphalt loses its flexibility and elasticity, making it more susceptible to cracking and breaking.

The signs that asphalt needs to be resurfaced include:

- Large or numerous cracks that cannot be repaired by crack sealing
- Potholes that are deep or widespread
- Raveling or loss of aggregate from the surface
- Fading or discoloration of the surface
- Rough or uneven texture of the surface

Resurfacing is a process that involves removing the top layer of the damaged asphalt and replacing it with a new layer of hot mix asphalt. Resurfacing can restore the smoothness, durability, and appearance of the asphalt pavement, as well as extend its lifespan. Resurfacing is usually recommended when the asphalt damage is too severe for simple repairs, but the base and subgrade are still in good condition.

The asphalt at this property was in good condition. Normal wear and tear on the asphalt was observed with little cracking and no potholes. All sloped towards drains that were fully functional and not clogged, however we recommend to Jet-Vac the whole system for improved site drainability.



Railings: Railings in Bryn Mawr Ocean Towers are made of precast concrete. These have an expected life of 50 years making them very durable. There was no noticeable rust or deterioration on these railings as they were mostly intact. These precast railings were repaired last year, so they will not need repairing for another 9 years. The same railings are used throughout the property's catwalks however, the balcony railings are aluminum and are the responsibility of the unit owner. There were some notes on the aluminum railings as we inspected the property. This includes a couple dents and dings in different railings, as well as on the first floor in building A on the north side, when windy this railing will sway back and forth even causing some noticeable sounds. Overall, the railings are in great shape and should not be a problem for a while.

Precast concrete railings are a durable and cost-effective option for apartment complex balconies. They are manufactured in a controlled environment and then transported to the site, where they are installed with minimal disruption. Precast concrete railings offer several advantages over other materials, such as:

- They are resistant to weathering, corrosion, fire, and vandalism.
- They are easy to maintain and clean, requiring only occasional washing with water.
- They are customizable in terms of shape, color, texture, and design, allowing for architectural flexibility and aesthetic appeal.
- They are environmentally friendly, as they reduce waste and energy consumption during production and installation.

Precast concrete railings can enhance the safety, functionality, and appearance of any apartment complex. They are a smart choice for developers, contractors, and owners who want to achieve high-quality results with minimal hassle.



Trash Chutes: Trash chutes are a convenient and hygienic way of disposing of waste in an apartment complex. They are designed to collect garbage from each floor and transport it to a central dumpster or compactor. Trash chutes have many benefits, such as:

- Reducing the need for residents to carry heavy bags of trash down the stairs or elevator
- Minimizing the exposure to pests, odors, and germs that can accumulate in trash bins
- Saving space and improving the appearance of the building by eliminating the need for multiple trash containers
- Enhancing the safety and security of the residents by reducing the risk of fire, vandalism, or theft
- Promoting environmental awareness and recycling by allowing residents to separate their waste into different categories

To ensure the proper functioning and maintenance of trash chutes, apartment managers should follow some best practices, such as:

- Cleaning and sanitizing the trash chutes regularly to prevent clogging, corrosion, and odor
- Installing fire sprinklers, smoke detectors, and self-closing doors to prevent the spread of fire
- Providing adequate ventilation and lighting in the trash chute rooms to prevent mold growth and accidents
- Educating the residents about the proper use of trash chutes and the items that should not be thrown into them, such as bulky, sharp, or hazardous materials
- Inspecting and repairing any damages or malfunctions in the trash chute system as soon as possible

Trash chutes are a smart and efficient solution for waste management in an apartment complex. They can improve the quality of life for the residents and the property value for the owners. By following some simple guidelines, apartment managers can ensure that their trash chutes are always in good condition and working order.



Game Rooms: Many apartment complexes offer game rooms as an amenity for their residents. Game rooms are spaces where people can enjoy various recreational activities, such as pool, ping pong, foosball, video games, board games, and more. Game rooms can provide several benefits for apartment dwellers, such as:

- Socializing with neighbors and friends
- Relaxing and having fun after a long day
- Saving money on entertainment expenses
- Improving mental and physical health
- Enhancing the sense of community and belonging

Game rooms are a great way to make the most of your apartment living experience.

The game rooms referenced in this document reflect the common rooms on the first floor of the main buildings (1100 sq ft). These have pool tables, ping pong tables, books, and a furniture set. This room also features a window door front, (1) ceiling fan, and (3) hanging lights.

Bathrooms: For the recreation building there is a total of 130 sq ft. with (1) toilet in each room, (1) sink, (1) grab bar.

For the regular building there is, tile flooring (230 sq. ft.), finishes, (2) sinks, urinal, (11") counter top, (1)toilets, and (2) partitions.

Bathrooms are essential features of any apartment, as they provide comfort, convenience and hygiene for the residents. Bathrooms can also reflect the style and personality of the owners, as well as the overall design and quality of the apartment. A well-designed and maintained bathroom can increase the value and appeal of an apartment, while a poorly designed or neglected one can detract from it. Some of the factors that make a bathroom important are:

- **Functionality:** A bathroom should have all the necessary fixtures and amenities to meet the needs and preferences of the users. This includes a toilet, a sink, a shower and/or a bathtub, a mirror, a ventilation system, a lighting system, and enough storage space for toiletries and towels. A bathroom should also be easy to access, clean and maintain.
- **Comfort:** A bathroom should offer a comfortable and relaxing environment for the users, especially after a long day or before a busy one. A bathroom should have enough space to move around, a suitable temperature and humidity level, a pleasant aroma and sound, and a cozy and inviting atmosphere. A bathroom should also have some personal touches, such as plants, candles, artwork or accessories, to make it more welcoming and enjoyable.
- **Style:** A bathroom should match the style and theme of the apartment, as well as the taste and preference of the owners. A bathroom should have a harmonious color scheme, a consistent material and texture, and a coherent layout and design. A bathroom should also have some unique and creative elements, such as tiles, wallpaper, fixtures or furniture, to make it more attractive and distinctive.



Light Posts:

There is extensive spalling of concrete from most of the light posts. Many of the stands that they rest on are breaking apart and this could be an issue if it were to ever fall on somebody. It is recommended to replace the ones that pose a hazard to human health and safety.

Light posts are essential elements of commercial property design and maintenance. They provide illumination, security, and aesthetic appeal to the premises. Light posts can enhance the visibility and accessibility of the property, especially during the night or in low-light conditions. They can also deter potential intruders or vandals by creating a sense of surveillance and safety. Additionally, light posts can create a welcoming and attractive atmosphere for customers, visitors, and employees, by highlighting the architectural features and landscaping of the property. Light posts can also reflect the brand identity and values of the business, by choosing appropriate styles, colors, and materials. Therefore, light posts are not only functional but also symbolic components of commercial property.



Flag Poles: Flag poles need to be designed with a few considerations in mind: the wind load, the height of the flag, the foundation that it will stand on, and the aesthetic that is being accomplished. Flags come in a variety of materials such as aluminum and stainless steel. These materials offer some protection to the elements due to natural non-corrosive properties and high tensile strength. Whether you're showing patriotism, supporting a cause, or simply adding a decorative element to your yard, choosing the right flag pole is essential. It's always a good idea to consider the local weather conditions, the size and weight of the flag, and the installation process when choosing a flag pole. With no evidence of rust or any other threats to human health and safety, overall this flag pole was in good condition.



Sports Courts:

Bocce ball courts are the official playing surfaces for the game of bocce, an ancient sport that requires precision, skill, and strategy. They are flat, rectangular areas that allow for the consistent roll of bocce balls, ensuring fair play.

Court Dimensions:

- A regulation-sized bocce ball court measures 13 ft by 91 ft (4 m by 28 m).
- For casual backyard play, the court's ratio of width to length should be between 1:5 and 1:7.
- If you are working with limited space, you could build a bocce court in as little space as 5 ft by 20 ft (1.5 m by 6 m).

Building a Bocce Ball Court:

- Measure the length and width of your court and drive in 4 stakes at each corner.
- Dig the court area about 2-4 in (5-10 cm) deep.
- Frame the edges of the court with 4x4 pressure-treated wood.
- Fill the court with a layer of crushed stone and then a layer of gravel.
- Finish the court with either ground oyster shells, sand, or artificial turf

Shuffleboard courts are the official playing surfaces for the game of shuffleboard, a sport that requires precision and strategy. They are flat, rectangular areas designed for the consistent glide of shuffleboard pucks.

Court Dimensions:

- A regulation-size shuffleboard court measures 6 feet wide and 52 feet long.
- The court is mirrored on each side with a 6.5 feet shooting area at each end.
- For casual play or space constraints, the court's dimensions can be adjusted. For instance, a court could be as small as 5 feet by 20 feet.

Building a Shuffleboard Court:

- The court area is typically dug about 2-4 inches deep and framed with 4x4 pressure-treated wood.
- The court is filled with a layer of crushed stone and then a layer of gravel.
- The surface is finished with either ground oyster shells, sand, or artificial turf



Grills:

There are (4) grills located by each building and by the shuffleboard court with (1) non propane grill also located by the shuffleboard court. There is rust on all grills, however they are still functional and work properly.

Grills are a popular amenity in apartment complexes, providing residents with a convenient way to cook outdoors. However, choosing the right grill for an apartment complex requires considering factors such as safety regulations, space constraints, and the preferences of the residents.

Safety Regulations: Safety is a primary concern when it comes to grilling in apartment complexes. The National Fire Protection Association (NFPA) provides guidelines for the use and location of grills. For instance, grills should not be used or ignited on any balcony, under any overhanging portion, or within 10 ft of any structure. Electric grills must follow the same rule as other fuel-fired grills.

Types of Grills:

- **Electric Grills:** These are often the best choice for apartment complexes due to their safety and ease of use. They don't produce open flames and are usually allowed even where gas and charcoal grills are not.
- **Gas Grills:** These can be used if the building is constructed of concrete, including the balcony, and if local rules permit. However, propane grills and tanks may be too large or bulky for some apartments.
- **Charcoal Grills:** These are typically not recommended for apartment complexes due to the fire risk associated with open flames and hot coals



Gate Operator/Intercom: The gate intercom is the device that will allow you to enter the condominium complex. The security arms are operated with LiftMaster engines and open/close every time someone enters or exits. The purpose of these components are to ensure safety and wellbeing within the community. Furthermore, security intercom systems are an integral part of a comprehensive security system for apartment complexes or other multi-unit residential sites, such as condos or gated communities. They enable residents in each unit to grant convenient access to visitors without compromising the overall security of the property.

Types of Intercom Systems:

- **Wired Intercom Systems:** These are hardwired into the building's infrastructure, providing reliability and are not affected by wireless interference or hacks.
- **Wireless Intercom Systems:** These use radio frequencies to transmit signals from the intercom unit to the resident's phone or a central monitoring system. They are more flexible than wired systems but are also more prone to interference and hacking.
- **Video Intercom Systems:** These allow tenants to see and communicate with visitors before they enter the building, providing an added layer of security.
- **Smart Intercom Systems:** These offer features like facial recognition and remote operation via smartphone apps that allow tenants to manage building access from anywhere.

Benefits of Intercom Systems:

- **Security:** Intercom systems enhance security by allowing residents to verify the identity of visitors before granting access.
- **Convenience:** Residents can unlock doors for visitors without having to leave their apartment and open the door manually.
- **Remote Access:** A cloud-based intercom system improves convenience for residents. Even if they are not at home, residents can receive access requests on their smartphones.
- **Property Value:** For owners of apartment complexes, intercom system installation can strengthen security in the building, add value to the property, and increase tenant satisfaction.

When selecting an intercom system, it's essential to consider factors such as the size of the building, the number of units, and the level of security required. It's also important to choose a reputable provider that can offer ongoing support and maintenance for the system.



Lift Stations: This lift station at Bryn Mawr Ocean Towers is very rusty, but seems to be in working order. It is recommended to have regular wet well cleaning, televise all collection pipes every 5 years. Exercise valves.

- Lift stations, also known as pump stations, are an essential part of wastewater infrastructure. They are designed to move sewage or wastewater from a lower to a higher elevation. This is particularly useful in areas with too much pipe depth or low land locations.
- How Lift Stations Work: Raw sewage journeys underground in sloped pipelines that take advantage of gravity to keep costs down. In some situations, wastewater must enter the pipe system from a lower elevation³. For the raw sewage to continue the journey toward a wastewater treatment plant, it needs to be efficiently transported to a higher elevation. This is where lift stations come into play.
- The raw sewage reaches a storage container called a wet well, a holding cell that empties out once it reaches a predetermined level. While in the wet well, the wastewater is tested and carefully monitored to detect sewage levels³. Coarse (solid) materials are removed at this stage. Once the wet well is full, a lift station pump will “lift” the sewage upwards using a pressurized sewer force main. A sewer force main is a system that consists of pumps and compressors. Its purpose is to elevate the wastewater to a higher elevation so it can continue its inevitable journey toward treatment and recirculation.

Types of Lift Stations: Municipalities in charge of collecting and treating wastewater commonly use two types of lift stations:

- Dry Well: In dry-well lift stations, the system is housed in a separate location (usually underground or in a separate chamber). Due to this physical separation, maintenance on a dry well is more hazardous and poses increased safety risks.
- Submersible Pump (Wet Well): Submersible pumps, as the name suggests, are submerged in the wastewater they pump. It is mounted inside the wet well and uses a motor to pump the wastewater.

The use of lift stations in a sewage collection system saves a substantial amount of money in excavation costs, which involves digging for sewer pipes. Installing a wastewater lift station at certain points in a gravity pipeline system saves on front-end construction costs without sacrificing efficiency or functionality. They play an integral role in moving sewage to a wastewater treatment plant



Underground Utility Tunnel: The tunnel for Byrn Mawr runs from the beach to the apartment complex, providing a safe route underneath the road. Due to water coming into the tunnel from the bottom, recommend servicing the sump pump for correct operation, repairing cracks and joints.

Box culverts, also known as four-sided culverts, are versatile precast concrete products used in various applications. They are essentially tunnels that allow water to flow under a road, railway, or similar obstruction. Apart from their primary use in drainage systems, they are also used in the construction of underpasses, subways, bridges, and even storage areas.

- **Structure and Design:** Box culverts are typically rectangular in shape and are available in various sizes. They are designed to withstand the weight of the earth and any loads above it. The design of a box culvert depends on factors such as the amount of water to be drained, the soil characteristics, and the load it needs to support.

Applications:

- **Drainage Systems:** Box culverts are commonly used in storm sewer systems where they serve as culverts, allowing water to flow under roads or railways.
- **Bridges:** Short span bridges can be constructed using large box culverts.
- **Underground Utility Tunnels:** Box culverts provide a safe and durable housing for electrical cables, telecommunications lines, and other services.
- **Storage Areas:** Due to their robust structure, box culverts can be used to create storage areas.

Advantages:

- **Versatility:** Box culverts can be used in a variety of applications, from drainage systems to storage areas.
- **Durability:** Made from precast concrete, box culverts are designed to last for many years with minimal maintenance.
- **Ease of Installation:** Precast box culverts can be easily installed, saving time and reducing construction costs.
- **In conclusion,** box culverts are a practical and cost-effective solution for many infrastructure needs. Their versatility and durability make them a popular choice in both public and private construction projects

